

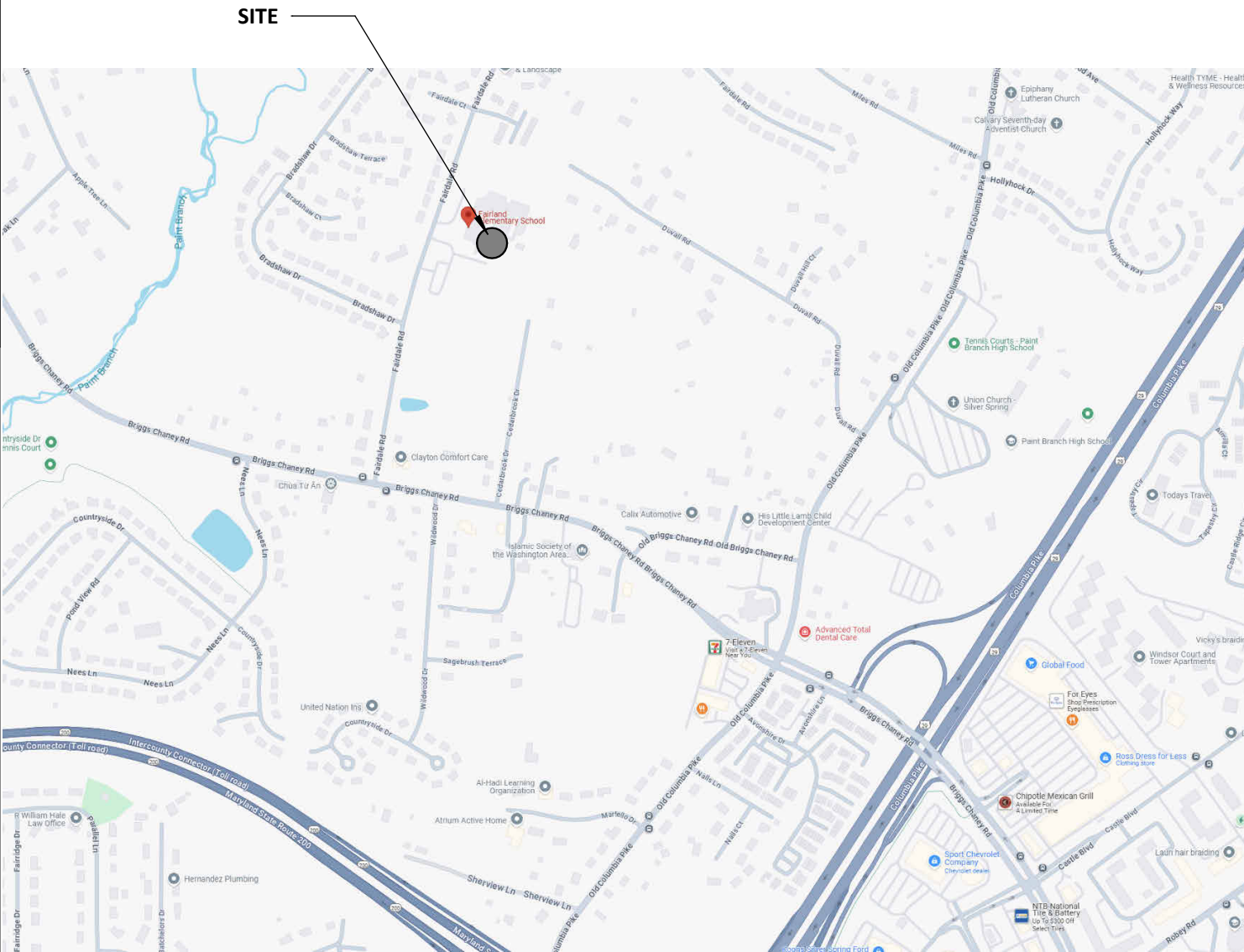
FAIRLAND ELEMENTARY SCHOOL

ELEVATOR MODERNIZATION

14315 FAIRDALE RD,
SILVER SPRING, MD 20905

PERMIT/BID SET ISSUE
03.12.2025

VICINITY MAP



DRAWING LIST

GENERAL	
G000	COVER SHEET
G001	GENERAL NOTES, CODE ANALYSIS, AND ADA DETAILS
ARCHITECTURAL	
A101	DEMO AND PROPOSED FLOOR PLANS
A102	ELEVATOR DETAILS
MECHANICAL/PLUMBING	
MP000	SPECIFICATIONS, SYMBOLS AND ABBREVIATIONS
MP100	ELEVATOR - DEMO AND NEW WORK FLOOR PLANS
MP300	SCHEDULES AND DETAILS
ELECTRICAL	
E001	SPECIFICATIONS, SYMBOLS AND ABBREVIATIONS
E002	ELEVATOR - DEMO AND NEW WORK FLOOR PLANS
E003	PANEL SCHEDULES



107A W EDMONSTON DRIVE
ROCKVILLE, MD 20852
(P) 301-605-7005
(C) 301-404-0449

OWNER



DIVISION OF CONSTRUCTION
45 W. GUDE DRIVE, 4TH FLOOR
ROCKVILLE, MD 20850

MECHANICAL /
PLUMBING /
ELECTRICAL
ENGINEER

CTA CONSULTING
ENGINEERS, INC
220 NORTH ADAMS ST
ROCKVILLE, MD 20850
(P) 301-762-7172

CERTIFICATION BLOCK

I certify that these documents were
prepared and approved by me, and that I
am a duly licensed architect under the laws
of the State of Maryland

License Number: 13183

Expiration Date:
July 12, 2026

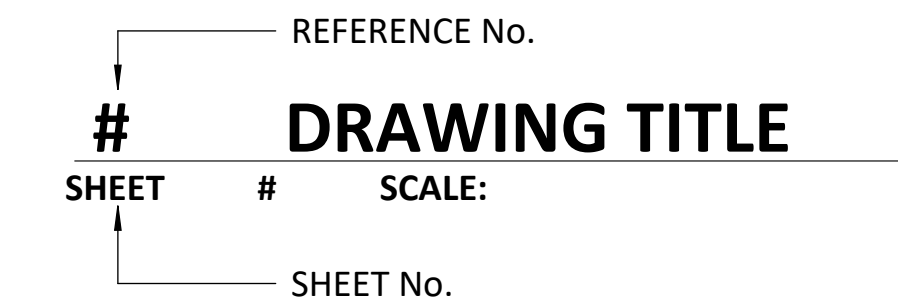
ABBREVIATIONS

NOTE: ABBREVIATIONS ARE GENERAL AND MAY NOT BE APPLICABLE TO THIS PROJECT.

ABV	ABOVE	MAS	MASONRY
ADA	AMERICANS w/ DISABILITY ACT	MAX	MAXIMUM
ADJ	ADJUSTABLE	MECH	MECHANICAL
A.F.F.	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A.F.G.	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	M.O.	MASONRY OPENING
AMP	AMPERE	MTD	MOUNTED
APPROX	APPROXIMATELY	MTL	METAL
		MWK	MILLWORK
BD	BOARD	N	NORTH
BLDG	BUILDING	N.I.C.	NOT IN CONTRACT
BM	BEAM	NOM	NOMINAL
B.O.F.	BOTTOM OF FRAMING	N.T.S.	NOT TO SCALE
BTM	BOTTOM	O.C.	ON CENTER
B.T.U.	BRITISH THERMAL UNIT	O.D.	OUTSIDE DIAMETER
BTW	BETWEEN	O.H.	OPPOSITE HAND
BU	BUILT-UP	OPNG	OPENING
		OPP	OPPOSITE
CFM	CUBIC FEET PER MINUTE	PG	PAINT GRADE
C.J.	CONTROL JOINT	P.L.	PROPERTY LINE
CLG	CEILING	PLAM	PLASTIC LAMINATE
CLOS	CLOSET	PLUM	PLUMBING
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PT WD	PRESSURE TREATED WOOD
CT	CERAMIC TILE	PTD	PAINTED
		QTY	QUANTITY
DBL	DOUBLE	R	RISER
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	RE	REFRIGERATOR
DR	DOOR	REINF	REINFORCING
DS	DOWNSPOUT	REQD	REQUIRED
DW	DISHWASHER	RM	ROOM
DWG	DRAWING	R.O.	ROUGH OPENING
		R.O.W.	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SCHED	SCHEDULE
E.J.	EXPANSION JOINT	SECT	SECTION
ELEV	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EW	ELECTRIC WATER COOLER	SQ	SQUARE
EXT	EXTERIOR	SS	SANITARY SINK
		SST	STAINLESS STEEL
FA	FIRE ALARM	ST	STREET
FD	FLOOR DRAIN	STD	STANDARD
FE	FIRE EXTINGUISHER	STL	STEEL
FEC	FIRE EXTINGUISHER CABINET	SY	SYMBOL
FHV	FIRE HOSE VALVE	SYM	SYMMETRICAL
FHVC	FIRE HOSE VALVE CABINET		
F.F.	FINISH FLOOR	T	TREAD
FLUOR	FLUORESCENT	T&G	TONGUE & GROOVE
FT	FEET (FOOT)	TEL	TELEPHONE
FTG	FOOTING	THK	THICK
		T.O.C	TOP OF CONCRETE/ CURB
		T.O.D	TOP OF DECK
		T.O.F	TOP OF FOUNDATION
		T.O.S.	TOP OF SLAB
		T.O.W.	TOP OF WALL
		TS	TUBE STEEL
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	V	VOLTS
GAL	GALLON	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GFI	GROUND FAULT INTERRUPTER	VIF	VERIFY IN FIELD
GL	GLASS	VWC	VINYL WALL COVERING
GND	GROUND		
GW	GYPSUM WALL BOARD	W	WEST
GYP	GYPSUM	W/O	WITHOUT
		W/C	WATER CLOSET
HB	HOSE BIB	WD	WOOD
HC	HANDICAPPED	WF	WATER FOUNTAIN
HDWD	HARDWOOD	WS	WET STACK
HDWR	HARDWARE	WT	WEIGHT
HM	HOLLOW METAL	YD	YARD
HR	HOUR		
HT	HEIGHT		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
JAN	JANITOR		
JST	JOIST		
JT	JOINT		
LAM	LAMINATE		
LAV	LAVATORY		
LB	POUND		
LF	LINEAR FEET		
LTG	LIGHTING		

DRAWING TAGS

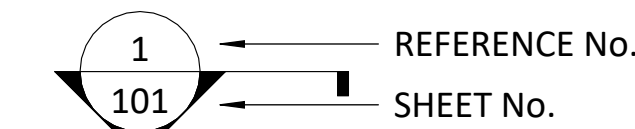
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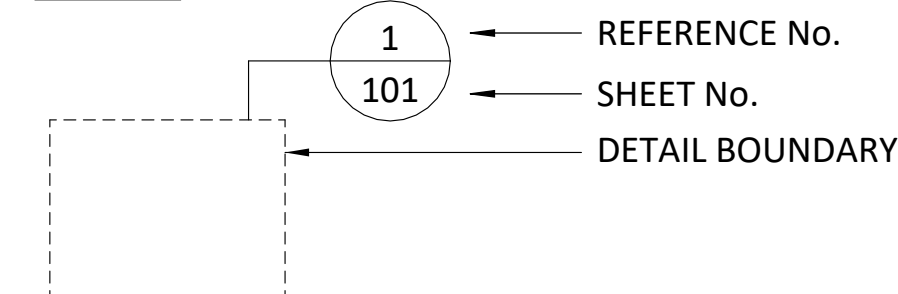
ELEVATION



SECTION

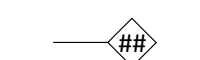


PLAN DETAIL

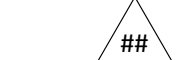


SYMBOLS

PARTITION TAG



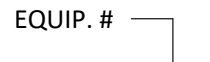
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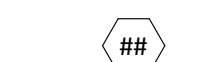
DOOR TAG



EQUIPMENT TAG



WINDOW TAG



EQUIP. #



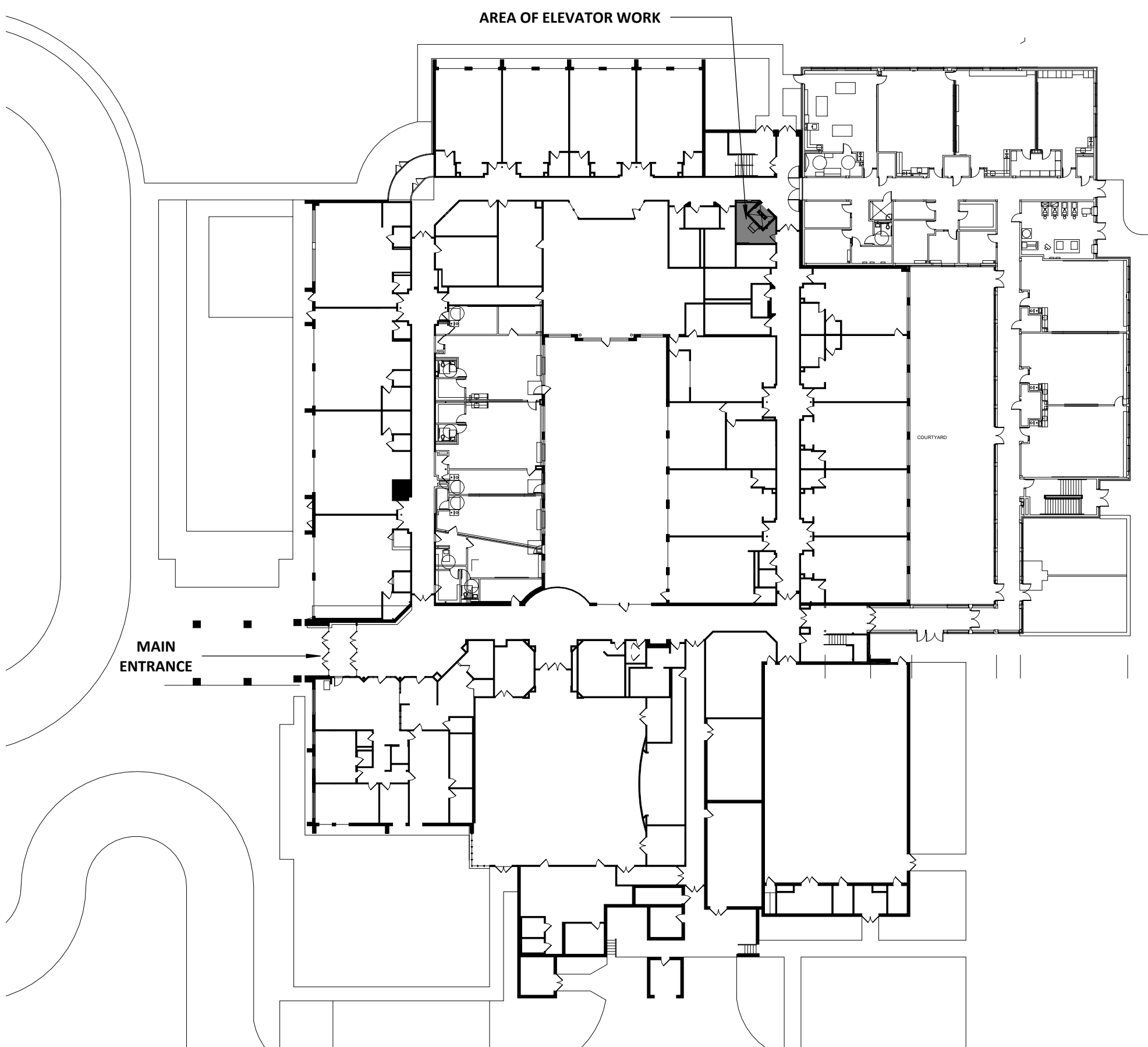
RESTROOM ACCESSORY TAG



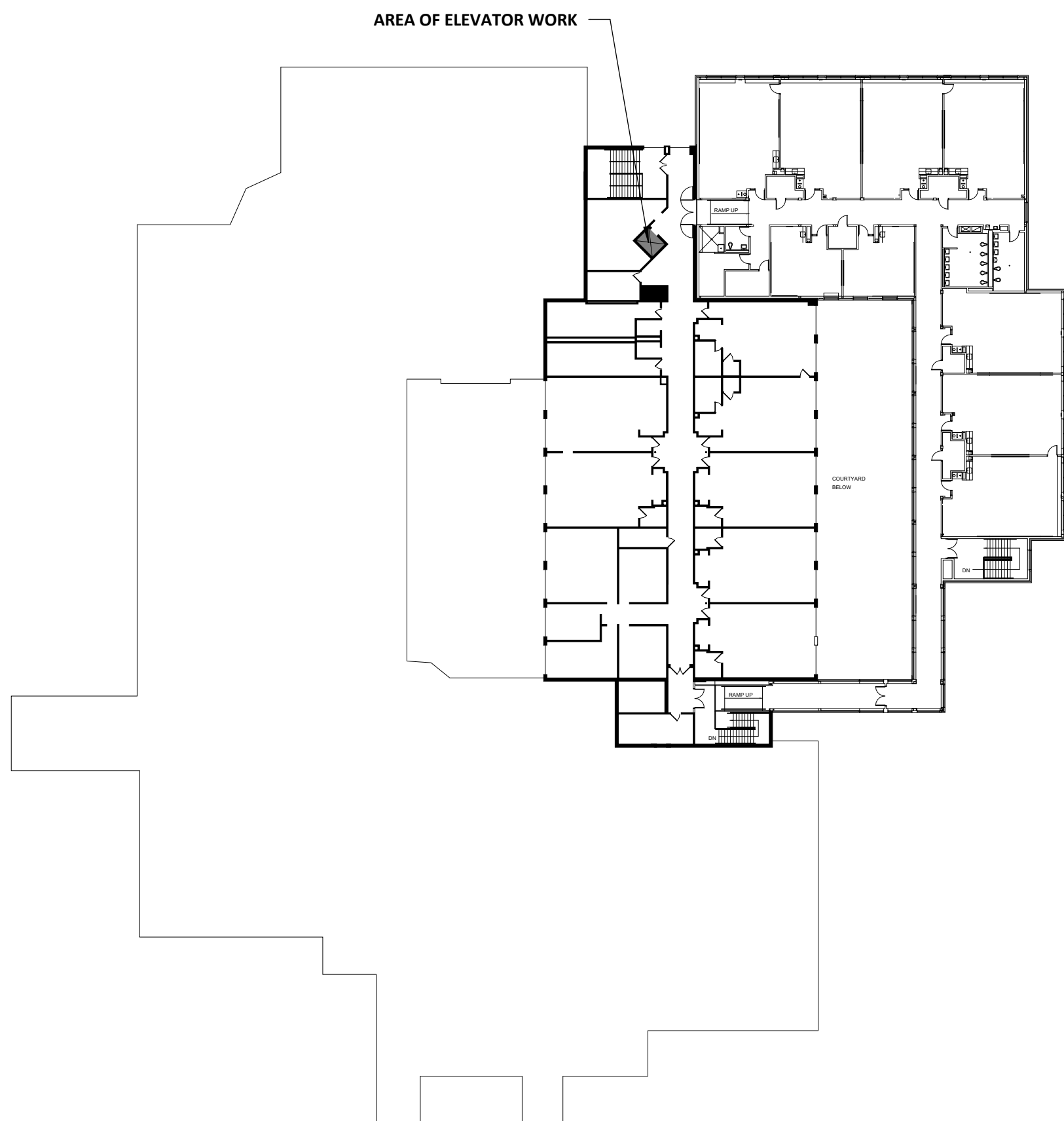
KEYNOTES



KEY PLANS



LOWER LEVEL FLOOR



UPPER LEVEL FLOOR

FAIRLAND ELEMENTARY SCHOOL ELEVATOR MODERNIZATION

14315 FAIRDALE RD,
SILVER SPRING, MD 20905

COVER SHEET

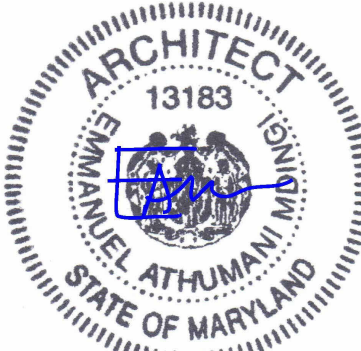
PROJECT NO.	24-079
DRAWN BY	MAS
REVIEWED BY	EMAC/IEH

PROJECT ISSUE DATE

PERMIT/BID SET ISSUE 03.12.2025

REV.	ISSUE:	DATE

DRAWING STAMP



SHEET NUMBER

G000

GENERAL NOTES

1.

THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT AND SPECIFICATIONS

2.

THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT, NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING WITH THE ARCHITECT.

3.

PERMITS: GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, EXCEPT BUILDING PERMIT.

4.

QUALITY: CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL ALL COMPONENTS IN A PROFESSIONAL MANNER. ALL FINISH WORK TO BE TRUE, LEVEL & PLUMB. ALL JOINTS TO BE TIGHT & CLEAN.

5.

CODE COMPLIANCE: WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & FEDERAL CODES INCLUDING NFPA; USE TESTED AND CERTIFIED ASSEMBLIES, AS REQUIRED BY CODE.

6.

HANDICAP ACCESSIBILITY: CONTRACTOR SHALL COMPLY WITH ACCESSIBILITY GUIDELINES 36 CFR PART 1191 OF THE FEDERAL REGISTER, ITS PREVIOUS TO ANSI STANDARD A117.1, AND TITLE III OF THE AMERICAN WITH DISABILITY ACT (ADA), AND LOCAL ORDINANCES.

7.

WARRANTY: ALL CONSTRUCTION, MATERIALS, PRODUCTS AND WORK TO BE WARRANTED FOR A PERIOD OF TWO YEARS FROM DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS LONGER PERIODS ARE SPECIFIED FOR SPECIFIC MANUFACTURER'S / SYSTEMS, IN WHICH CASE THOSE LONGER PERIODS SHALL APPLY.

8.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NO MEASUREMENT SHALL BE SCALED FROM THE CONTRACT DRAWINGS. CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION IF A DIMENSION(S) IS IN QUESTION.

9.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.

10.

DIMENSIONS AND NOTES ON ENLARGED PLANS AND DETAILS ARE TO OVERRIDE SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF DRYWALL UNLESS NOTED OTHERWISE.

11.

REMOVE ALL DEBRIS, PACKING MATERIAL, DEMOLISHED MATERIAL AND EXTRANEOUS TRASH GENERATED BY CONSTRUCTION FROM BUILDING & SITE UNLESS NOTED, TO BE TURNED OVER TO OWNER. ALL DEMOLISHED MATERIAL NOT TO BE TURNED OVER OWNER SHALL BECOME THE PROPERTY OF GENERAL CONTRACTOR.

12.

ALL MATERIAL, HARDWARE, FIXTURES AND FINISHED TO BE BUILDING STANDARD UNLESS NOTED OTHERWISE. BUILDING STANDARD INFORMATION IS AVAILABLE THROUGH THE OWNER'S REPRESENTATIVES AND TYPICALLY MATCHES EXISTING INTERIOR CONSTRUCTION.

13.

ALL GENERAL CONTRACTORS & SUBCONTRACTORS ARE TO VISIT THE SITE PRIOR TO COMPLETING BID TO VERIFY EXISTING CONDITIONS. GENERAL CONTRACTOR & SUBCONTRACTORS TO PROVIDE WRITTEN DOCUMENTATION OF ANY DISCREPANCY BETWEEN SITE CONDITIONS & DOCUMENTS. SUBMISSION OF BID IS CONFIRMATION THAT EXISTING CONDITIONS HAVE BEEN FULLY TAKEN INTO CONSIDERATIONS & ARE REFLECTED IN THE COSTS PROVIDED.

14.

SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT, ALLOWING TEN (10) WORKING DAYS FOR REVIEW. SHOP DRAWINGS SHALL BE REVIEWED & APPROVED BY CONTRACTOR PRIOR SUBMITTING THEM TO ARCHITECT. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. ALL TRADES SHALL BE REVIEWED BY THE ARCHITECT AT THE SAME TIME. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATION, INSTALLATION, INSTRUCTION, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK. CONTRACTOR SHALL FOLLOW PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

15.

CONTRACTOR TO PROVIDE 2X FIRE RESISTANT BLOCKING AS NECESSARY BEHIND ALL WALL MOUNTED INSTALLATIONS.

16.

CONTRACTOR TO PROVIDE BUILDING CONSTRUCTION REPRESENTATIVE WITH COPIES OF DELIVERY, AND CONSTRUCTION SCHEDULES. CONTRACTOR TO COORDINATE ALL SCHEDULES WITH BUILDINGS CONSTRUCTION REPRESENTATIVE.

17.

CUTTING & PATCHING: CONTRACTOR TO PATCH, REPAIR & REFINISH WORK DAMAGED AS A RESULT OF DEMOLITION OR REMOVAL OF CONSTRUCTION TO MATCH ADJACENT FINISH. PATCH THRU-WALL/ THRU-FLOOR PENETRATIONS TO MAINTAIN EXISTING BUILDING INTEGRITY.

18.

IF NEEDED, CORING, DRILLING OR OTHER SUCH WORK IN ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT HOURS MINDFUL OF THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED. GENERAL CONTRACTOR SHALL DIRECTLY COORDINATE WITH BUILDING OWNER'S REPRESENTATIVE AND AFFECTED TENANT(S).

19.

IF NEEDED, NO CORE DRILLING SHALL BE PERFORMED BEFORE 8:30 AM MONDAY - FRIDAY OR BEFORE 9:00 AM SATURDAY - SUNDAY. WITH REGARD TO CORE DRILLED SLAB OPENINGS, A DRAWING SHOWING THE LOCATION AND SIZE OF ALL OPENINGS SHALL BE SUBMITTED TO THE BUILDING OWNER'S REPRESENTATIVE FOR REVIEW BY THE BUILDING STRUCTURAL ENGINEER.

20.

IF REQUIRED, UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.

21.

IF REQUIRED, ALL ROOF WORK TO BE COMPLETED BY MCPS APPROVED ROOFING CONTRACTOR.

22.

PROVIDE A SMOOTH, NEAT, CONTINUOUS APPEARANCE WHERE DEMOLITION WORK MEETS ADJACENT EXISTING WORK. REMOVE EXISTING FINISHES AS REQUIRED TO PROVIDE NEAT, STRAIGHT SEAMS AND TRANSITIONS BETWEEN EXISTING AND MATCHING NEW FINISHES.

23.

CONTRACTOR WILL COORDINATE AND OBTAIN ALL PERMITS AND APPROVALS TO HAVE AN OPEN TOP DUMPSTER AT CURBSIDE OF THE BUILDING.

24.

CONTRACTOR TO PROTECT EXISTING FLOORING TO REMAIN WITH MINIMUM 1/2" PLYWOOD SHEETS.
- APPLICABLE CODES
- | | | |
|--------------------------|------|--|
| JURISDICTION: | | MONTGOMERY COUNTY, MD |
| BUILDING CODE: | 2018 | INTERNATIONAL BUILDING CODE (IBC) |
| | | AS MODIFIED BY MONTGOMERY COUNTY AMENDMENTS |
| | 2018 | INTERNATIONAL EXISTING BUILDING CODE (IEBC) |
| ELECTRICAL CODE: | | MONTGOMERY COUNTY CODE, CHAPTER 17 ELECTRICITY |
| | | NFPA 70 (NATIONAL ELECTRICAL CODE) |
| ACCESSIBILITY CODE: | | COMAR 09.12.53 MARYLAND ACCESSIBILITY CODE |
| MECHANICAL CODE: | | 2018 INTERNATIONAL MECHANICAL CODE (IMC) |
| ENERGY CODE: | | 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) |
| PLUMBING CODE: | | WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) |
| FUEL GAS CODE: | | 2018 INTERNATIONAL FUEL GAS CODE (ICC) |
| FIRE & LIFE-SAFETY CODE: | 2015 | MONTGOMERY COUNTY CODE CHAPTER 22 FIRE SAFETY CODE |
| | 2015 | NFPA 1 FIRE CODE |
| | | NFPA 101 LIFE SAFETY CODE |
| ELEVATOR CODE: | | ASME 17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS |
- CODE ANALYSIS
- BUILDING DESCRIPTION:
- | | | | |
|--------------------------------------|--|----------|------------------------------------|
| PROJECT DESCRIPTION: | ELEVATOR MODERNIZATION FOR ONE EXISTING HYDRAULIC ELEVATOR. EXIST CABS TO BE REFURBISHED; NEW MACHINE RM EQUIPM, DOORS, AND CONTROLS. NEW AC VENTILATION | | |
| IBC OCCUPANCY CLASSIFICATION | EXISTING | E AND A3 | PROPOSED |
| | | | E AND A3 (NO CHANGE) |
| NFPA 101 - OCCUPANCY CLASSIFICATION | EDUCATION AND ASSEMBLY | | EDUCATION AND ASSEMBLY (NO CHANGE) |
| TYPE OF CONSTRUCTION | II-B IBC | | II-B IBC |
| NUMBER OF STORIES ABOVE GRADE (BLDG) | 2 | | 2 |
| HEIGHT ABOVE GRADE (BLDG) | APPROX. 25' - 0" | | APPROX. 25' - 0" (NO CHANGE) |
| HIGH RISE (Y/N) | N | | N |
| STANDPIPES (Y/N) | N/A | | N/A |
| FULLY SPRINKLERED (Y/N) | Y | | Y |
| FIRE ALARM (Y/N) | Y | | Y |
| FLOOR AREA OF RENOVATION (GROSS) | 233 SF | | 233 SF (NO CHANGE) |
| BUILDING AREA | APPROX. 96,406 SF | | NO CHANGE |
| CODES USED FOR DESIGN | IBC | | IBC 2018 |
- OCCUPANT LOAD: (NO CHANGE)
- FINISH CLASS RATINGS:
- ALL FLOOR, WALL AND CEILING FINISHES WILL MEET OR EXCEED SMOKE DEVELOPMENT AND FLAME SPREAD RATING REQUIREMENTS OF IBC CHAPTER 8. (USE: E)
MINIMUM FLOOR FINISH RATING REQUIRED: CLASS "II"
MINIMUM WALL/CEILING FINISH RATING REQUIRED: CLASS "C"
- TYPICAL ADA DETAILS
- FIGURE #1a**
CLEAR DOORWAY WIDTH AND DEPTH

FIGURE #1b
CLEAR DOORWAY WIDTH AND DEPTH. MAXIMUM DOORWAY DEPTH

FIGURE #1c
CLEAR DOORWAY WIDTH AND DEPTH SLIDING DOOR

FIGURE #1d
CLEAR DOORWAY WIDTH AND DEPTH FOLDING DOOR

1. CLEAR WIDTH
EXCEPTION: DOORS NOT REQUIRING FULL USER PASSAGE, SUCH AS SHALLOW CLOSETS, MAY HAVE THE CLEAR OPENING REDUCED TO 20 INCHES MINIMUM

FIGURE #2a
FRONT APPROACHES - SWINGING DOORS

FIGURE #2b
HINGE SIDE APPROACHES - SWINGING DOORS

FIGURE #2c
LATCH SIDE APPROACHES - SWINGING DOORS

FIGURE #2d
PULL SIDE

FIGURE #2e
PUSH SIDE

FIGURE #2f
PULL SIDE

FIGURE #2g
PUSH SIDE

FIGURE #2h
PULL SIDE

FIGURE #2i
PUSH SIDE

FIGURE #2j
PULL SIDE

FIGURE #2k
PUSH SIDE

FIGURE #2l
PULL SIDE

FIGURE #2m
PUSH SIDE

FIGURE #2n
PULL SIDE

FIGURE #2o
PUSH SIDE

FIGURE #2p
PULL SIDE

FIGURE #2q
PUSH SIDE

FIGURE #2r
PULL SIDE

FIGURE #2s
PUSH SIDE

FIGURE #2t
PULL SIDE

FIGURE #2u
PUSH SIDE

FIGURE #2v
PULL SIDE

FIGURE #2w
PUSH SIDE

FIGURE #2x
PULL SIDE

FIGURE #2y
PUSH SIDE

FIGURE #2z
PULL SIDE

FIGURE #2aa
PUSH SIDE

FIGURE #2ab
PULL SIDE

FIGURE #2ac
PUSH SIDE

FIGURE #2ad
PULL SIDE

FIGURE #2ae
PUSH SIDE

FIGURE #2af
PULL SIDE

FIGURE #2ag
PUSH SIDE

FIGURE #2ah
PULL SIDE

FIGURE #2ai
PUSH SIDE

FIGURE #2aj
PULL SIDE

FIGURE #2ak
PUSH SIDE

FIGURE #2al
PULL SIDE

FIGURE #2am
PUSH SIDE

FIGURE #2an
PULL SIDE

FIGURE #2ao
PUSH SIDE

FIGURE #2ap
PULL SIDE

FIGURE #2aq
PUSH SIDE

FIGURE #2ar
PULL SIDE

FIGURE #2as
PUSH SIDE

FIGURE #2at
PULL SIDE

FIGURE #2au
PUSH SIDE

FIGURE #2av
PULL SIDE

FIGURE #2aw
PUSH SIDE

FIGURE #2ax
PULL SIDE

FIGURE #2ay
PUSH SIDE

FIGURE #2az
PULL SIDE

FIGURE #2ba
PUSH SIDE

FIGURE #2bb
PULL SIDE

FIGURE #2bc
PUSH SIDE

FIGURE #2bd
PULL SIDE

FIGURE #2be
PUSH SIDE

FIGURE #2bf
PULL SIDE

FIGURE #2bg
PUSH SIDE

FIGURE #2bh
PULL SIDE

FIGURE #2bi
PUSH SIDE

FIGURE #2bj
PULL SIDE

FIGURE #2bk
PUSH SIDE

FIGURE #2bl
PULL SIDE

FIGURE #2bm
PUSH SIDE

FIGURE #2bn
PULL SIDE

FIGURE #2bo
PUSH SIDE

FIGURE #2bp
PULL SIDE

FIGURE #2bq
PUSH SIDE

FIGURE #2br
PULL SIDE

FIGURE #2bs
PUSH SIDE

FIGURE #2bt
PULL SIDE

FIGURE #2bu
PUSH SIDE

FIGURE #2bv
PULL SIDE

FIGURE #2bw
PUSH SIDE

FIGURE #2bx
PULL SIDE

FIGURE #2by
PUSH SIDE

FIGURE #2bz
PULL SIDE

FIGURE #2ca
PUSH SIDE

FIGURE #2cb
PULL SIDE

FIGURE #2cc
PUSH SIDE

FIGURE #2cd
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FIGURE #2ce
PUSH SIDE

FIGURE #2cf
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FIGURE #2cg
PUSH SIDE

FIGURE #2ch
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FIGURE #2ci
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FIGURE #2cj
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FIGURE #2ck
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FIGURE #2cl
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FIGURE #2cm
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FIGURE #2cn
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FIGURE #2co
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FIGURE #2cp
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FIGURE #2cq
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FIGURE #2cr
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FIGURE #2cs
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FIGURE #2ct
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FIGURE #2cu
PUSH SIDE

FIGURE #2cv
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FIGURE #2cw
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FIGURE #2cx
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FIGURE #2cy
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FIGURE #2cz
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FIGURE #2da
PUSH SIDE

FIGURE #2db
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FIGURE #2dc
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FIGURE #2dd
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FIGURE #2de
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FIGURE #2df
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FIGURE #2dg
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FIGURE #2dh
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FIGURE #2di
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FIGURE #2dj
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FIGURE #2dk
PUSH SIDE

FIGURE #2dl
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FIGURE #2dm
PUSH SIDE

FIGURE #2dn
PULL SIDE

FIGURE #2do
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FIGURE #2dp
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FIGURE #2dq
PUSH SIDE

FIGURE #2dr
PULL SIDE

FIGURE #2ds
PUSH SIDE

FIGURE #2dt
PULL SIDE

FIGURE #2du
PUSH SIDE

FIGURE #2dv
PULL SIDE

FIGURE #2dw
PUSH SIDE

FIGURE #2dx
PULL SIDE

FIGURE #2dy
PUSH SIDE

FIGURE #2dz
PULL SIDE

FIGURE #2ea
PUSH SIDE

FIGURE #2eb
PULL SIDE

FIGURE #2ec
PUSH SIDE

FIGURE #2ed
PULL SIDE

FIGURE #2ee
PUSH SIDE

FIGURE #2ef
PULL SIDE

FIGURE #2eg
PUSH SIDE

FIGURE #2eh
PULL SIDE

FIGURE #2ei
PUSH SIDE

FIGURE #2ej
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FIGURE #2ek
PUSH SIDE

FIGURE #2el
PULL SIDE

FIGURE #2em
PUSH SIDE

FIGURE #2en
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FIGURE #2eo
PUSH SIDE

FIGURE #2ep
PULL SIDE

FIGURE #2eq
PUSH SIDE

FIGURE #2er
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FIGURE #2es
PUSH SIDE

FIGURE #2et
PULL SIDE

FIGURE #2eu
PUSH SIDE

FIGURE #2ev
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FIGURE #2ew
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FIGURE #2ex
PULL SIDE

FIGURE #2ey
PUSH SIDE

FIGURE #2ez
PULL SIDE

FIGURE #2fa
PUSH SIDE

FIGURE #2fb
PULL SIDE

FIGURE #2fc
PUSH SIDE

FIGURE #2fd
PULL SIDE

FIGURE #2fe
PUSH SIDE

FIGURE #2ff
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FIGURE #2fg
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FIGURE #2fh
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FIGURE #2fi
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FIGURE #2fj
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FIGURE #2fk
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FIGURE #2fl
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FIGURE #2fm
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FIGURE #2fn
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FIGURE #2fo
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FIGURE #2fp
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FIGURE #2fq
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FIGURE #2fr
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FIGURE #2fs
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FIGURE #2ft
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FIGURE #2fu
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FIGURE #2fv
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FIGURE #2fw
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FIGURE #2fx
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FIGURE #2fy
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FIGURE #2fz
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FIGURE #2ga
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FIGURE #2gb
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FIGURE #2gc
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FIGURE #2gd
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FIGURE #2ge
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FIGURE #2gf
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FIGURE #2gg
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FIGURE #2gh
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FIGURE #2gi
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FIGURE #2gl
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FIGURE #2gm
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FIGURE #2gn
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FIGURE #2gq
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FIGURE #2gr
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FIGURE #2gs
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FIGURE #2gt
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FIGURE #2gu
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FIGURE #2gv
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FIGURE #2gw
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FIGURE #2gx
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FIGURE #2gy
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FIGURE #2gz
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FIGURE #2ha
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FIGURE #2hb
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FIGURE #2hc
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FIGURE #2hd
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FIGURE #2he
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FIGURE #2hg
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FIGURE #2hh
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FIGURE #2hu
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FIGURE #2hv
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FIGURE #2hw
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FIGURE #2hx
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FIGURE #2hy
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FIGURE #2hz
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FIGURE #2ia
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FIGURE #2ic
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FIGURE #2ie
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FIGURE #2if
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FIGURE #2ig
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FIGURE #2ih
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FIGURE #2ii
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FIGURE #2ij
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FIGURE #2il
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FIGURE #2im
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FIGURE #2io
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FIGURE #2ip
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FIGURE #2iq
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FIGURE #2ir
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FIGURE #2is
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FIGURE #2it
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FIGURE #2iu
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FIGURE #2iv
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FIGURE #2iw
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FIGURE #2ix
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FIGURE #2iy
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FIGURE #2jv
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FIGURE #2kx
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FIGURE #2ky
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FIGURE #2la
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FIGURE #2lb
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FIGURE #2lc
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FIGURE #2ld
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FIGURE #2le
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FIGURE #2lf
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FIGURE #2lg
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FIGURE #2li
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FIGURE #2ll
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FIGURE #2lm
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FIGURE #2ln
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FIGURE #2lo
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FIGURE #2lp
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FIGURE #2lq
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FIGURE #2lr
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FIGURE #2ls
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FIGURE #2lt
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FIGURE #2lu
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FIGURE #2lv
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FIGURE #2lw
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FIGURE #2lx
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FIGURE #2ly
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FIGURE #2lz
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FIGURE #2ma
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FIGURE #2mb
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FIGURE #2mc
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FIGURE #2md
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FIGURE #2me
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FIGURE #2mj
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FIGURE #2mk
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FIGURE #2mn
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FIGURE #2mo
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FIGURE #2mq
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FIGURE #2ms
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FIGURE #2mv
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FIGURE #2mw
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FIGURE #2mx
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FIGURE #2my
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FIGURE #2mz
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FIGURE #2na
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FIGURE #2nb
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FIGURE #2nc
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FIGURE #2nd
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FIGURE #2ne
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FIGURE #2no
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FIGURE #2np
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FIGURE #2nq
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FIGURE #2ns
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FIGURE #2nt
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FIGURE #2nu
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FIGURE #2nv
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FIGURE #2nw
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FIGURE #2nx
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FIGURE #2ny
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FIGURE #2nz
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FIGURE #2oa
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FIGURE #2ob
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FIGURE #2oc
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FIGURE #2od
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FIGURE #2oe
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FIGURE #2oq
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FIGURE #2or
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FIGURE #2os
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FIGURE #2ot
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FIGURE #2ou
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FIGURE #2ov
PULL SIDE

FIGURE #2ow
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FIGURE #2ox
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FIGURE #2oy
PUSH SIDE

FIGURE #2oz
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FIGURE #2pa
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FIGURE #2pb
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FIGURE #2pc
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FIGURE #2pd
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FIGURE #2pe
PUSH SIDE

FIGURE #2pf
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FIGURE #2pg
PUSH SIDE

FIGURE #2ph
PULL SIDE

FIGURE #2pi
PUSH SIDE

FIGURE #2pj
PULL SIDE

FIGURE #2pk
PUSH SIDE

FIGURE #2pl
PULL SIDE

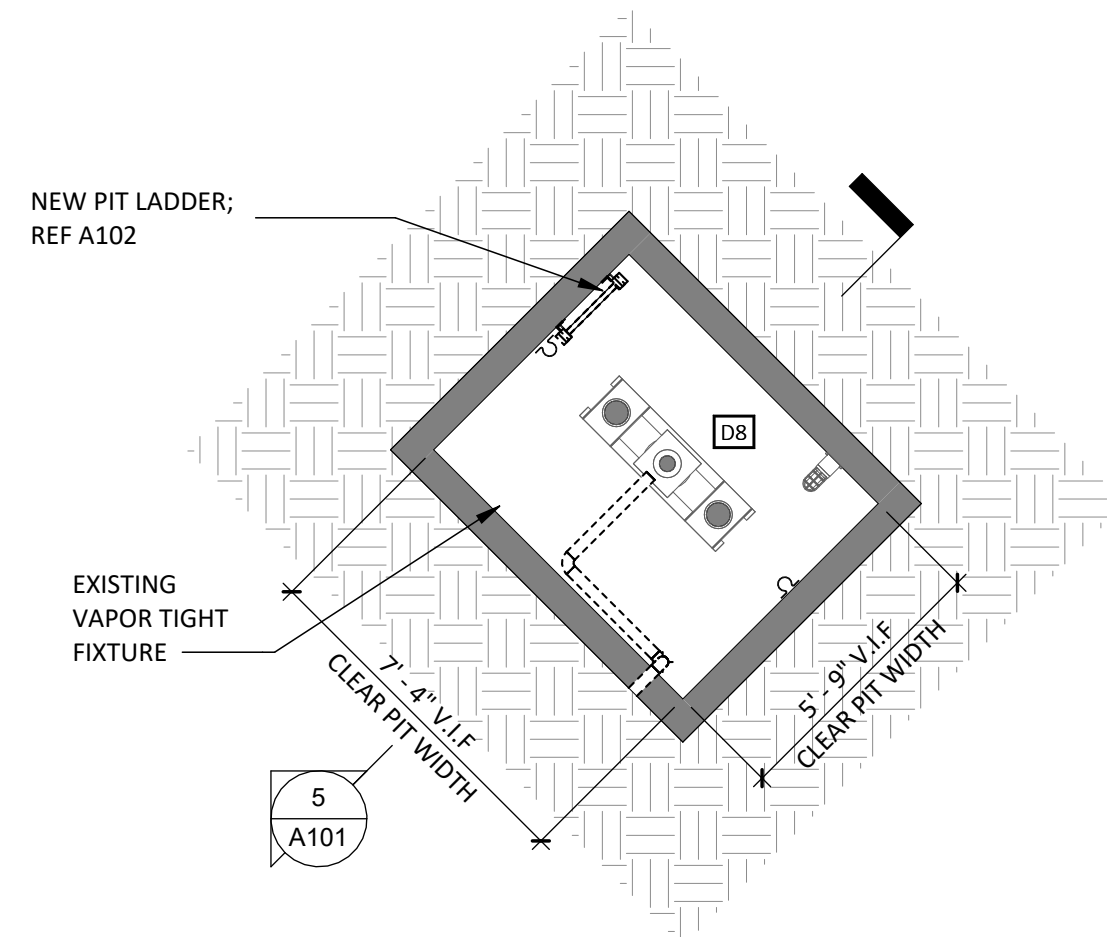
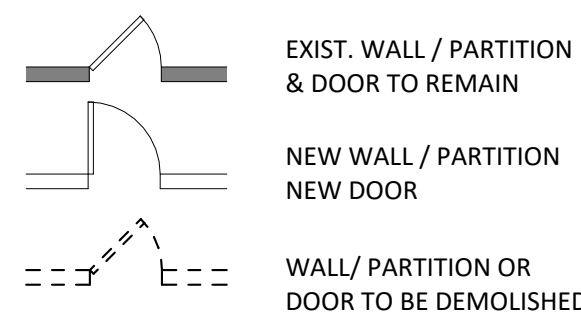
FIGURE #2pm
PUSH SIDE

FIGURE #2pn
PULL SIDE

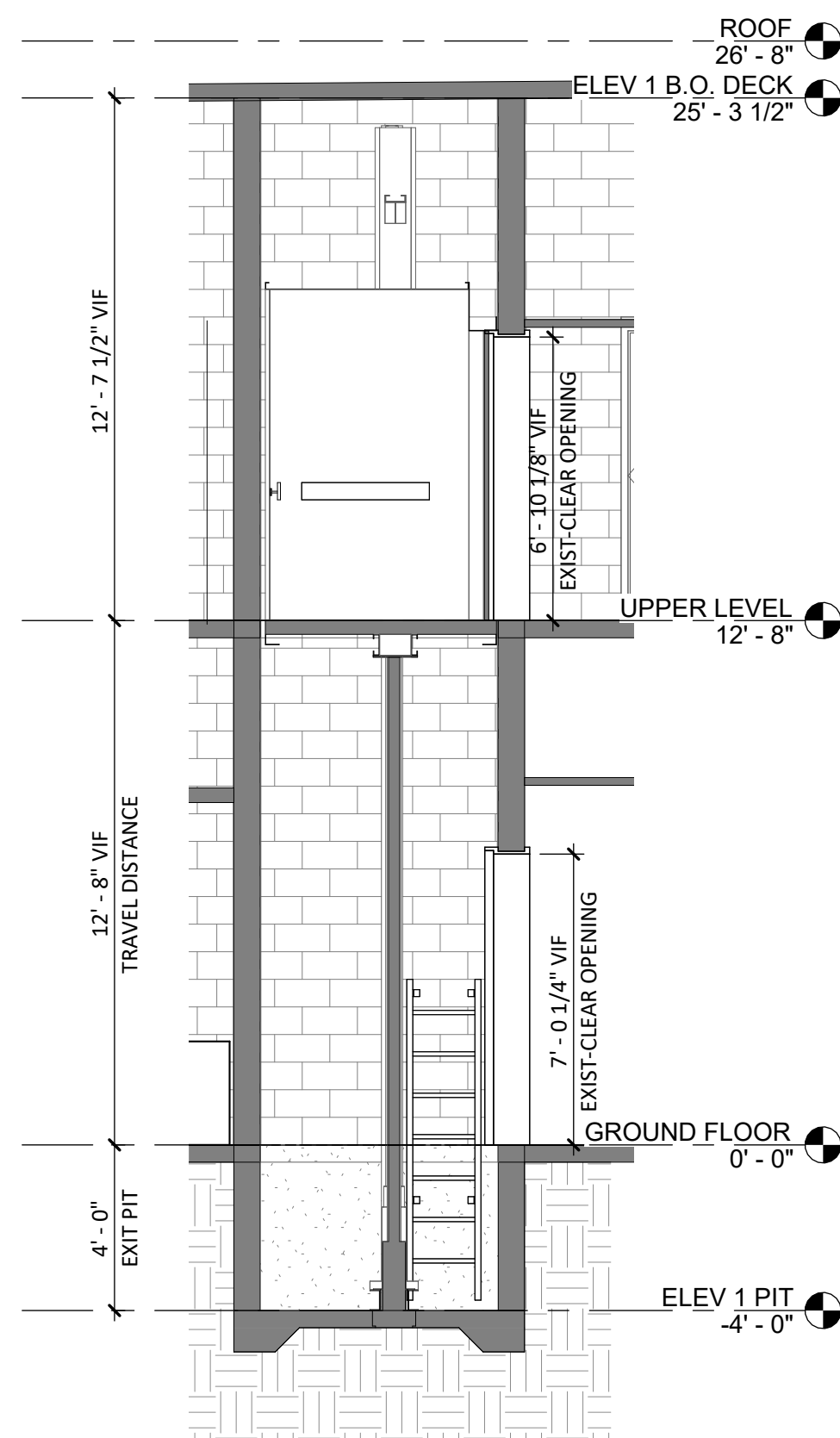
FIGURE #2po
PUSH SIDE

FIGURE #2pp
PULL SIDE

PLAN LEGEND



6 PROP PIT PLAN - ELEV
A101 SCALE 1/4" = 1'-0"



5 SECTION
A101 SCALE 1/4" = 1'-0"

DEMOLITION KEYED NOTES

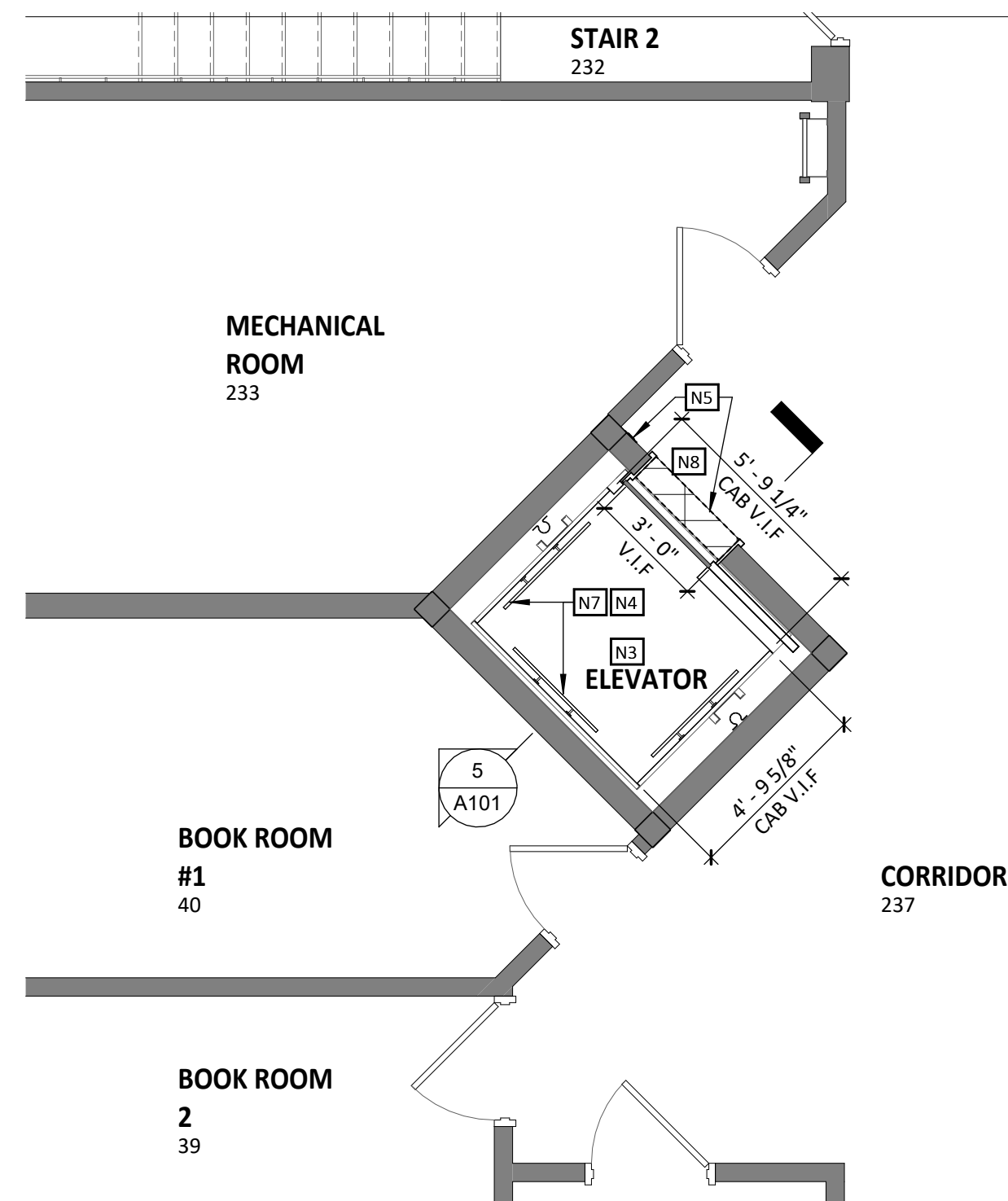
KEY #:	NOTE
D1	DEMO EXIST PUMP, CONTROLLERS AND PIPING; REF MEP DWGS.
D2	EXIST RATED DOOR TO REMAIN. CLEAN AND REPAIR ANY DAMAGE FOR A SEAMLESS FINISH.
D3	EXIST ELEVATOR EQUIPMENT TO REMAIN INCLUDES - JACKS, BUFFERS AND PIT CHANNELS, SLING AND PLATFORM, AND CAR SHELL.
D4	DEMO EXIST SLIDE GUIDES, CAB INTERIOR FINISHES, LIGHTS , CAR AND HOISTWAY DOOR PANELS, CAR AND HOISTWAY DOOR EQUIPMENT, WIRING AND CONDUIT, AND CAR TOP FAN.
D5	DEMO ALL CALL BUTTONS, HALL LANTERNS, AND SIGNAGE. PATCH AND REPAIR WALL AND PREPARE FOR NEW FIXTURE INSTALLATIONS.
D6	EXIST DOOR FRAME TO REMAIN; PREPARE TO BE RECLAD WITH SS.
D7	ALL EXIST WALLS TO REMAIN.
D9	DEMO EXIST PIT LADDER.
D10	REMOVE EXISTING FLOOR FINISH 2' OUT FROM ELEVATOR, CLEAN FLOOR SLAB AND READY FOR NEW TILE FLOOR FINISH. TILE TO MATCH EXIST. GC TO PROVIDE SAMPLES FOR OWNER'S APPROVAL.

PROPOSED KEYED NOTES

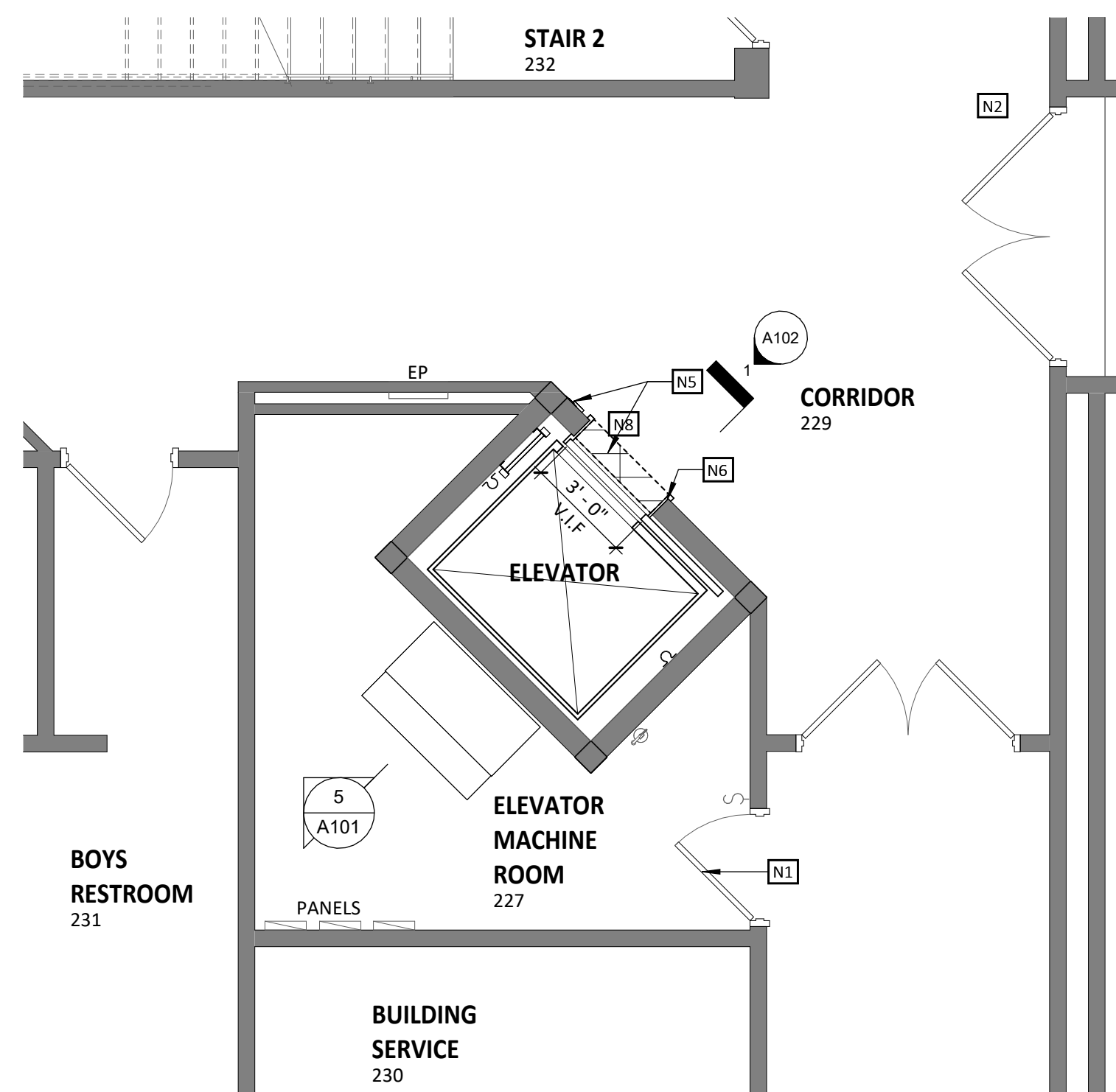
KEY #:	NOTE
N1	EXIST DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.
N2	NEW ELEV EQUIPMENT; REF MEP DWGS.
N3	NEW ELEVATOR EQUIP TO INCLUDE: SLIDE GUIDES, CAB INTERIOR SS #4 WALL FINISH, RUBBER TILE FLOORING, CEILING, CAB RETURNS AND TRANSOM CLADDING, CAR AND HOISTWAY DOOR PANELS AND EQUIP, AND WIRING AND CONDUIT.
N4	CLEAN AND PAINT PLATFORM AND SLING.
N5	NEW CALL BUTTONS, HALL LANTERNS AND SIGNAGE TYPICAL AT ALL LANDINGS RETAIN AND RECONDITION HATCH DOOR SILLS.
N6	NEW NEW SS #4 DOOR FRAME CLADDING AT ALL LANDINGS.
N7	NEW SS #4 FLAT HANDRAILS, 3"; TYP ALL SIDES W/O DOORS
N8	PROPOSED FLOOR FINISH TO MATCH EXISTING

GENERAL NOTES:

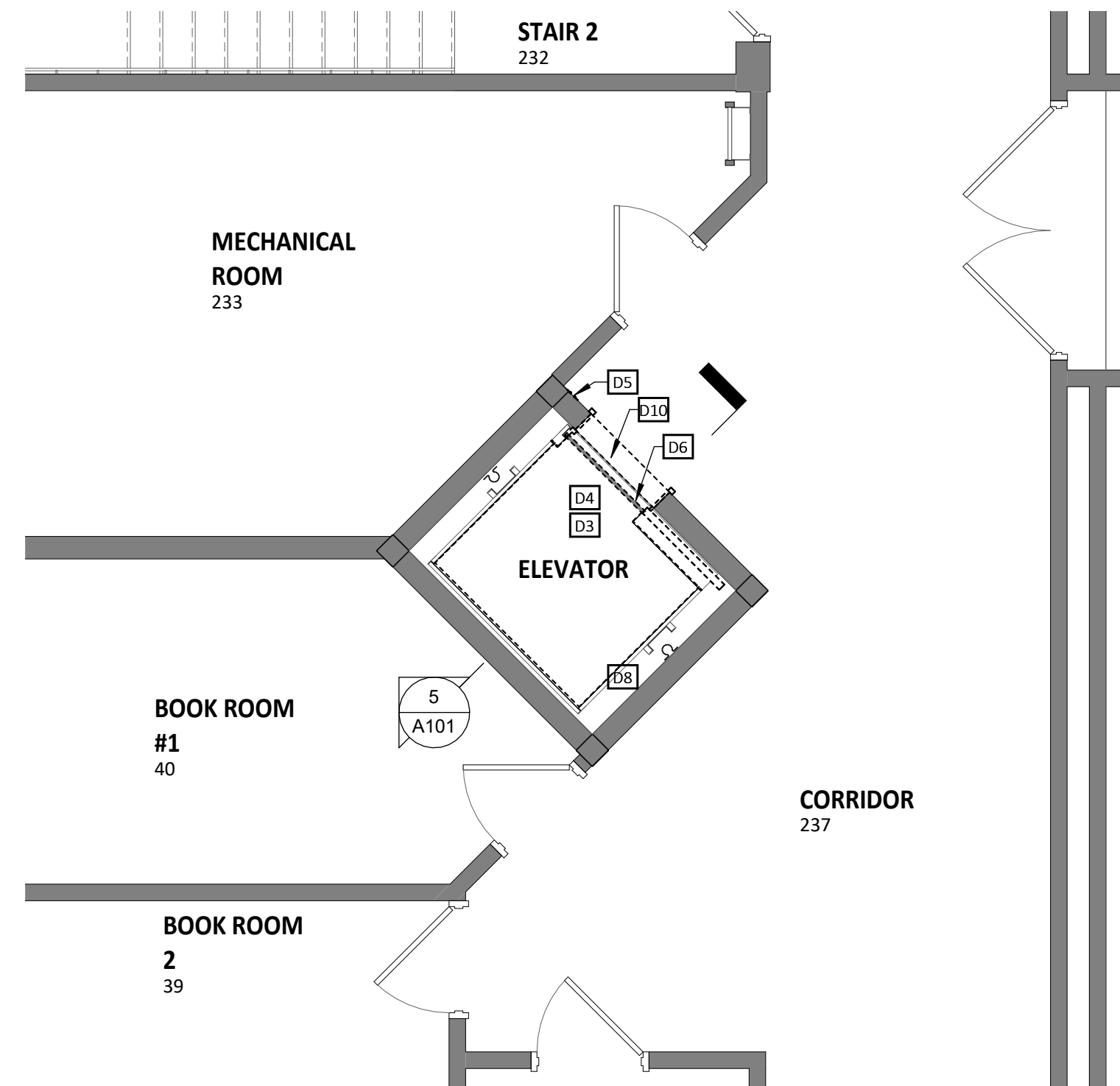
1. PATCH AND REPAIR ANY DAMAGE TO ADJACENT SURFACES AND FINISHES TO PROVIDE A SEAMLESS APPEARANCE. PAINT WALLS TO MATCH EXISTING; REPLACE ANY DAMAGED FLOORING AND WALL BASE IN KIND TO MATCH EXIST.
2. REF TO MEP DRAWINGS FOR NEW ELEV MACHINE ROOM AND ROOFTOP EQUIP LOCATIONS.
3. SEAL AROUND ALL OPENINGS IN FIRE RATED ASSEMBLIES WITH FIRE RATED SEALANT.
4. PATCH AND REPAIR ANY ABANDONED OPENINGS IN ELEVATOR HOISTWAYS AND MACHINE ROOMS WITH LIKE ASSEMBLIES TO MAINTAIN ALL EXIST FIRE RATINGS.



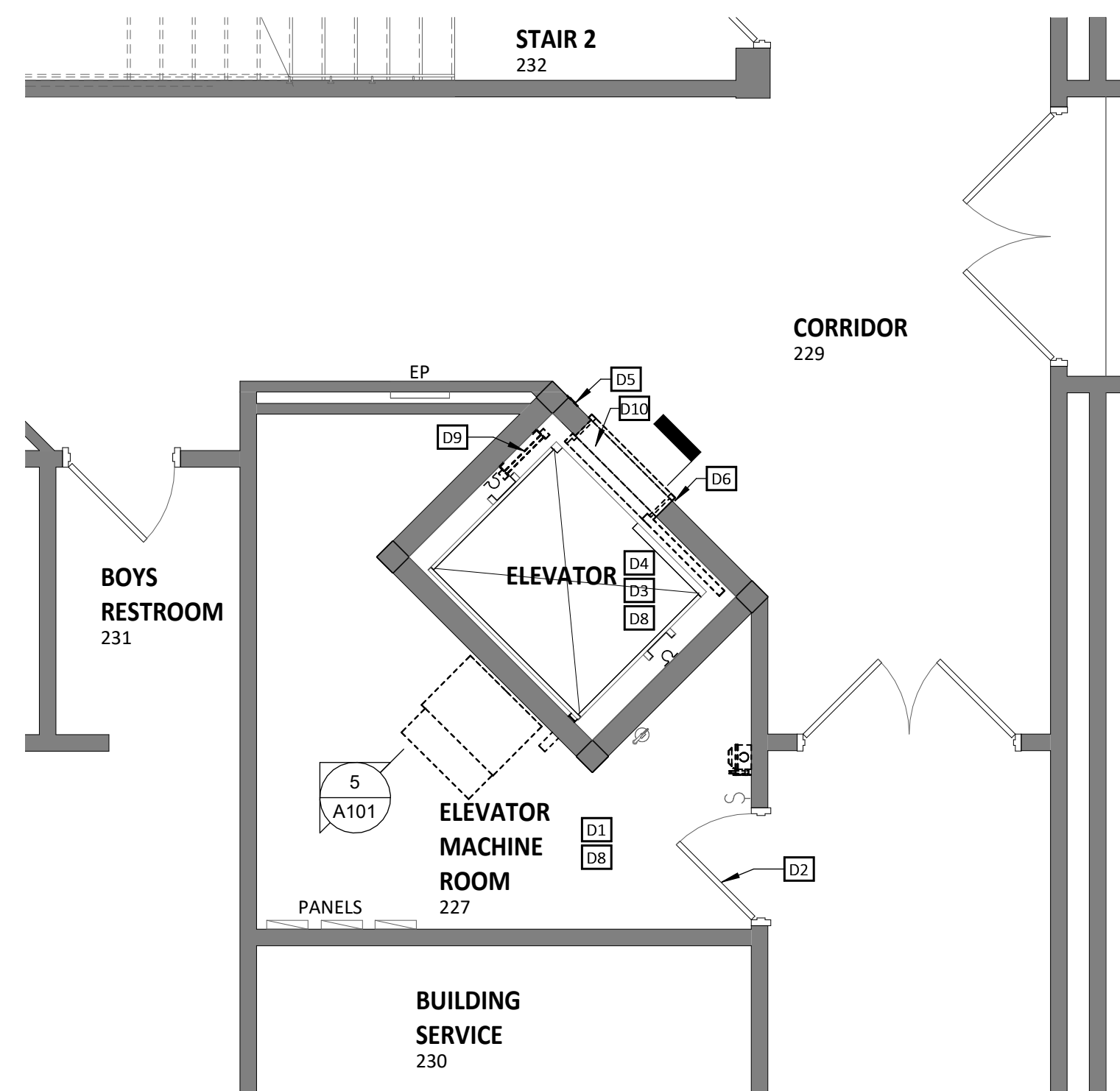
4 PROP UPPER LEVEL FLOOR PLAN
A101 SCALE 1/4" = 1'-0"



3 PROP LOWER LEVEL FLOOR PLAN
A101 SCALE 1/4" = 1'-0"



2 DEMO UPPER LEVEL FLOOR PLAN
A101 SCALE 1/4" = 1'-0"



1 DEMO LOWER LEVEL FLOOR PLAN
A101 SCALE 1/4" = 1'-0"



OWNER

DIVISION OF CONSTRUCTION
45 W. GUDE DRIVE, 4th FLOOR
ROCKVILLE, MD 20850

**MECHANICAL /
PLUMBING /
ELECTICAL
ENGINEER**

**CTA CONSULTING
ENGINEERS, INC**
220 NORTH ADAMS ST
ROCKVILLE, MD 20851
(P) 301-762-7172

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland

License Number: 13183

Expiration Date:
July 12, 2026

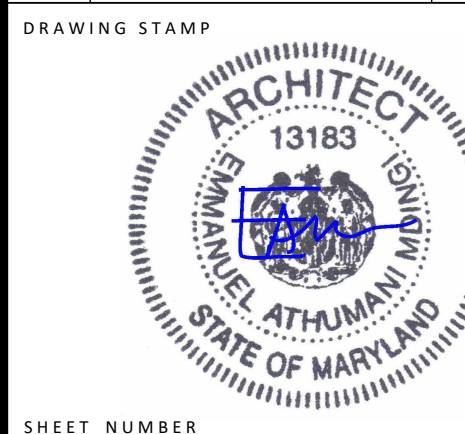
**FAIRLAND ELEMENTARY SCHOOL
ELEVATOR MODERNIZATION**

14315 FAIRDALE RD,
SILVER SPRING, MD 20905

DEMO AND PROPOSED FLOOR PLANS

PROJECT NO.	24-079
DRAWN BY	MAS
REVIEWED BY	EM/AC/EH

PROJECT ISSUE DATE	
PERMIT/BID SET ISSUE	03.12.2025

[illegible]

SHEET NUMBER

A101

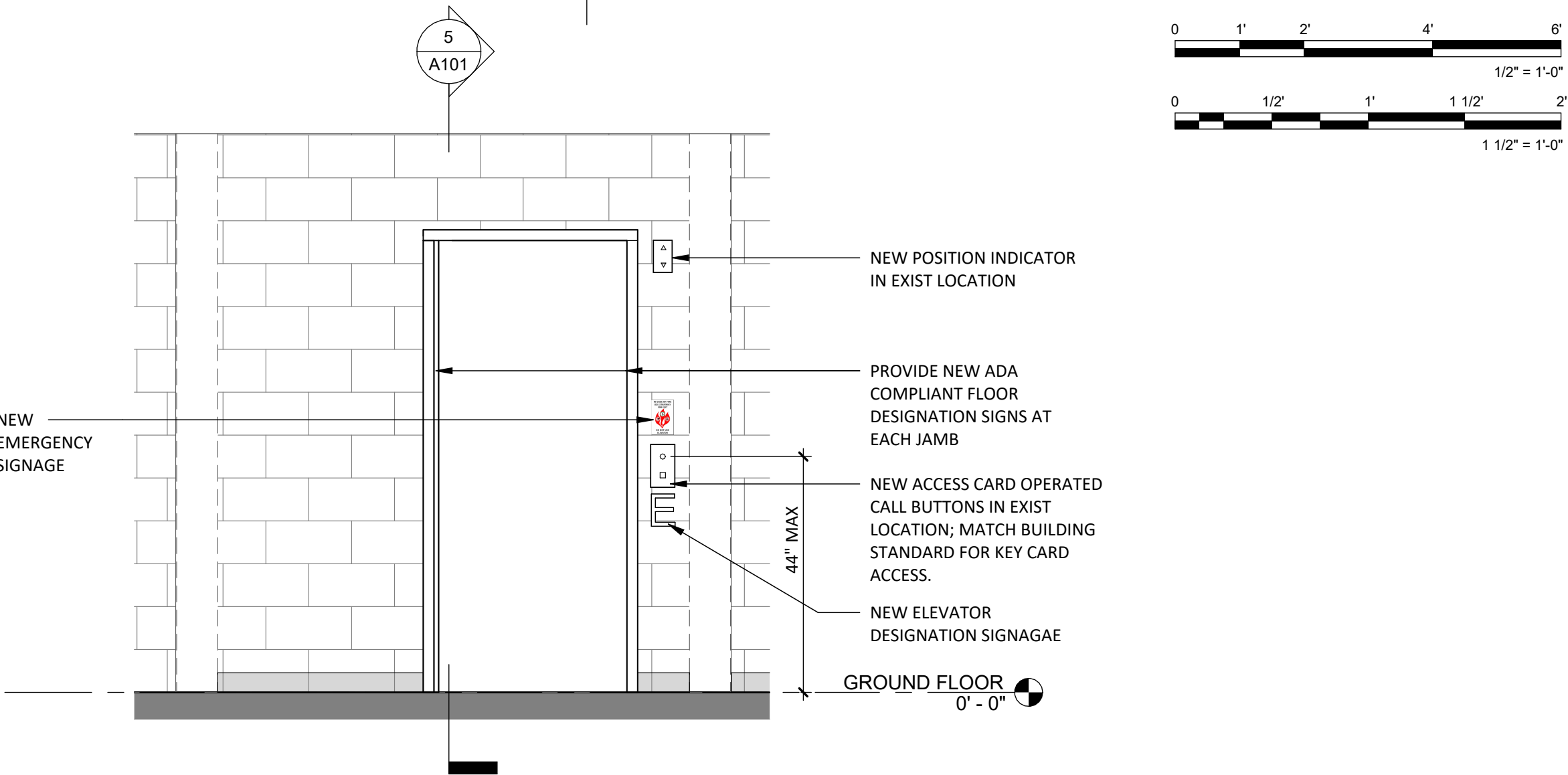
MCPS ROOFING CONTRACTOR

Tier 1	Contractor has successfully demonstrated the ability to complete all types of roofs, with no restriction in size or dollar limit. The contractor is eligible to bid on ALL MCPS' roofing projects.					
Tier 2	Contractor will be limited to roofs of 100 squares (+-) BUR and single ply until they demonstrate they have the manpower, equipment and the means to successfully complete them in the time allotted and to MCPS roofing standards. After successful completion of two or three roofing projects, the contractor will be re-evaluated to see if they qualify to be classified as a TIER 1 Roofing Contractor where they will be granted all rights as a TIER 1 Roofing Contractor.					
Contractor	Street Address	Contact Person	Email Addresses	Tier Level	Phone Number	Fax Number
CitiRoof Corporation	9510 Berger Road Columbia, MD 21046	H. Lee Goldhammer	rodney@citiroof.com sales@citiroof.com	1	410-381-3100	410-381-8835
Cole Roofing Co., Inc.	3915 Cooledge Avenue Baltimore, MD 21229	Billy Cole	Dennis@coleroofing.com Billy@coleroofing.com mailbox@coleroofing.com	1	410-242-0600	410-242-8007
Function Enterprises, Inc.	7954 Cameron Brown Court Springfield, VA 22153	Ryland T. Gray	ryland@function.net	1	703-569-2422	703-569-9661
HRGM Corporation	1807 Martin Luther King Jr. Avenue, SE Washington, DC 20020	Rachna Butani Bhatt	rachna@hrgm.com	1	202-889-8400	
Interstate Corporation	8040 Queenair Drive Gaithersburg, MD 20879	Perry Cho	perry@icroof.com	1	301-738-7111	301-762-7355
Kalkreuth Roofing & Sheet Metal, Inc.	5726 Industry Lane Frederick, MD 21704	Andrew Vanlandingham Betsy Longo	avanlandingham@krsm.net blongo@krsm.net	1	301-418-6100	301-695-0884
Orndorff & Spaid, Inc	11722 Old Baltimore Pike Beltsville, MD 20705	Dave Porterfield	mitchs@osroofing.com estimating@osroofing.com davep@osroofing.com John@osroofing.com	1	301-937-5911	301-937-0310
R. D. Bean, Inc	5105-13 Powder Mill Road Beltsville, MD 20705	Rick Drew	rick@rdbean.com info@rdbean.com	1	301-937-0260	301-937-0958
Rayco Roof Service, Inc.	6870 Wellington Road Manassas, VA 20109	Raymond Conley	jim.wright@raycoroofservice.com marlene.iseman@raycoroofservice.com	1	703-335-5110	703-631-2274
Tecta America	5220 Pennington Ave. Baltimore, MD 21226	S Coyne	Scoyne@tectamerica.com ablackmon@tectamerica.com scoabahey@tectamerica.com	1	410-319-0300	410-467-2439
Vatica Contracting, Inc. (Approved 11-29-10)	4350 Kenilworth Avenue Hyattsville, MD 20781	S Kim	SKim@vaticainc.com kpsaromatis@vaticainc.com	1	301-927-8530	301-927-8760
North East Contracting	7220 Lockport Place Lorton, VA 22079	Devon Robey	devon@northeastcontracting.com	2	571-969-0467	
Chu Contracting Inc.	14020 Thunderbolt Pl., Ste 300 Chantilly, VA 20151	Jason Yu	it-admin@chucontracting.com	2	703-378-8190	703 378-8191
Ruff Roofing and Sheet Metal Inc.	1420 Knecht Ave. Baltimore, MD 21227	Timothy Ruff	info@ruffroofers.com	2	410-242-2400	410-247-7171

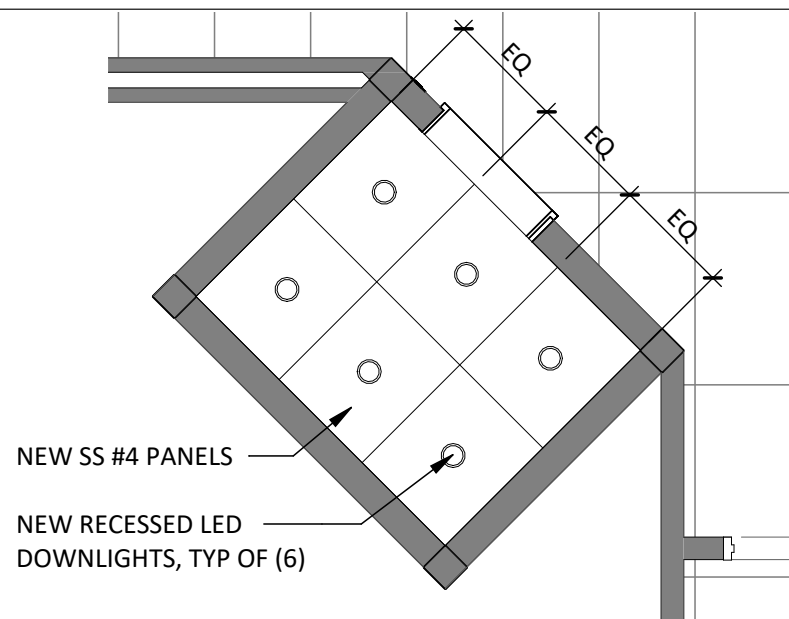
NOTE:
EXIST ROOF - TYPICAL, BUILD
UP ROOF (BUR).
- GC TO VERIFY



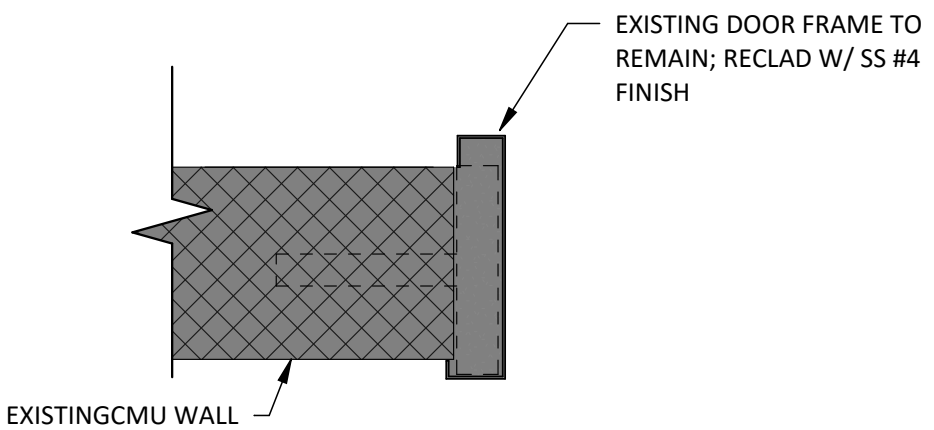
8 EXIST ROOF PLAN
A102 SCALE 1/32" = 1'-0"



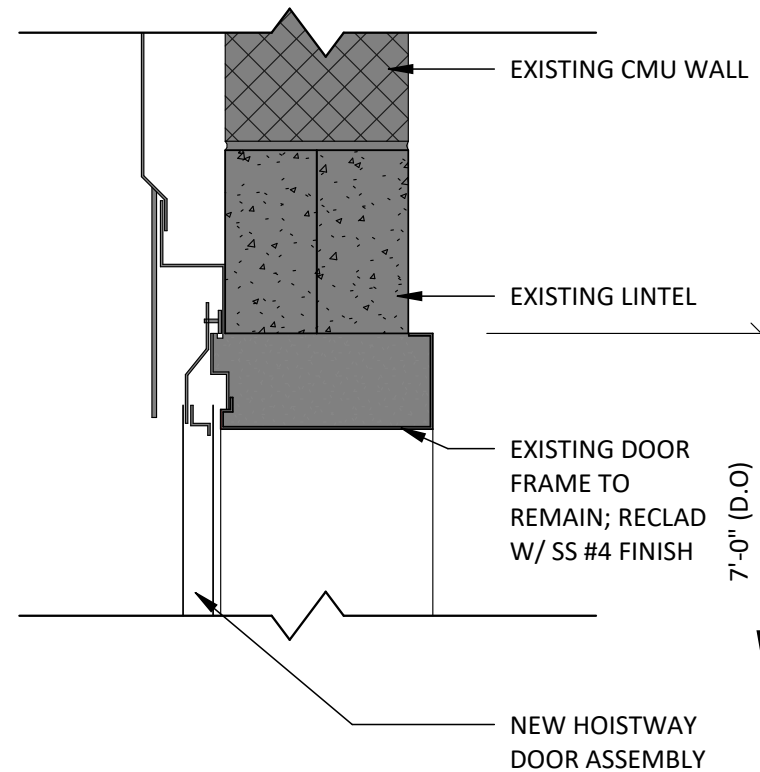
1 TYP LOBBY ELEVATION
A102 SCALE 1/2" = 1'-0"



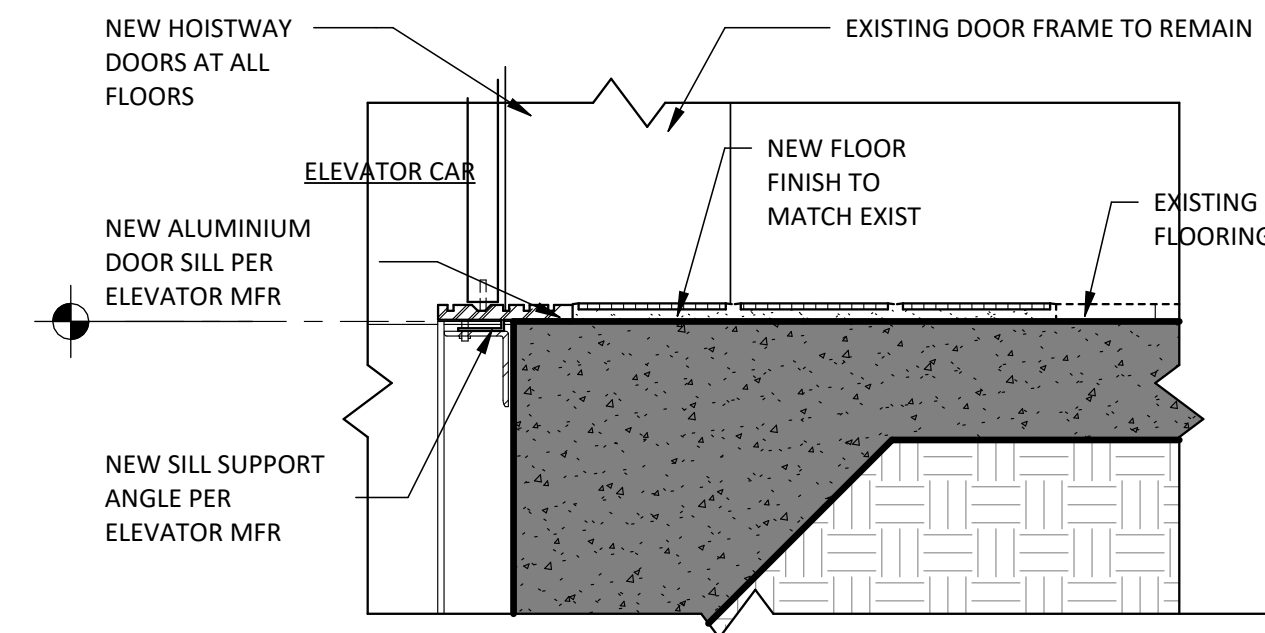
6 RCP - TYP CAB
A102 SCALE 1/4" = 1'-0"



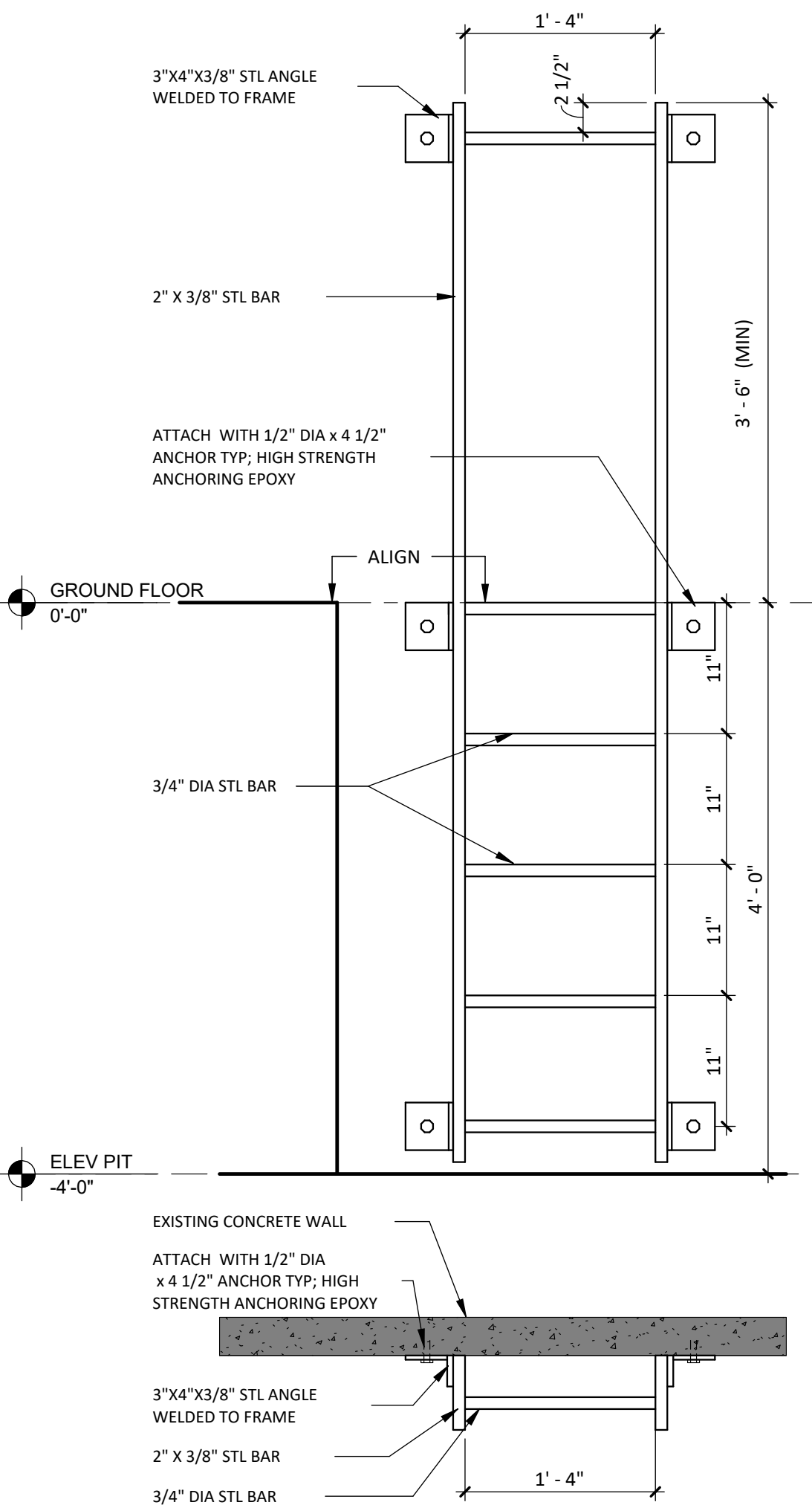
2 ELEVATOR JAMB DETAIL
A102 SCALE 1 1/2" = 1'-0"



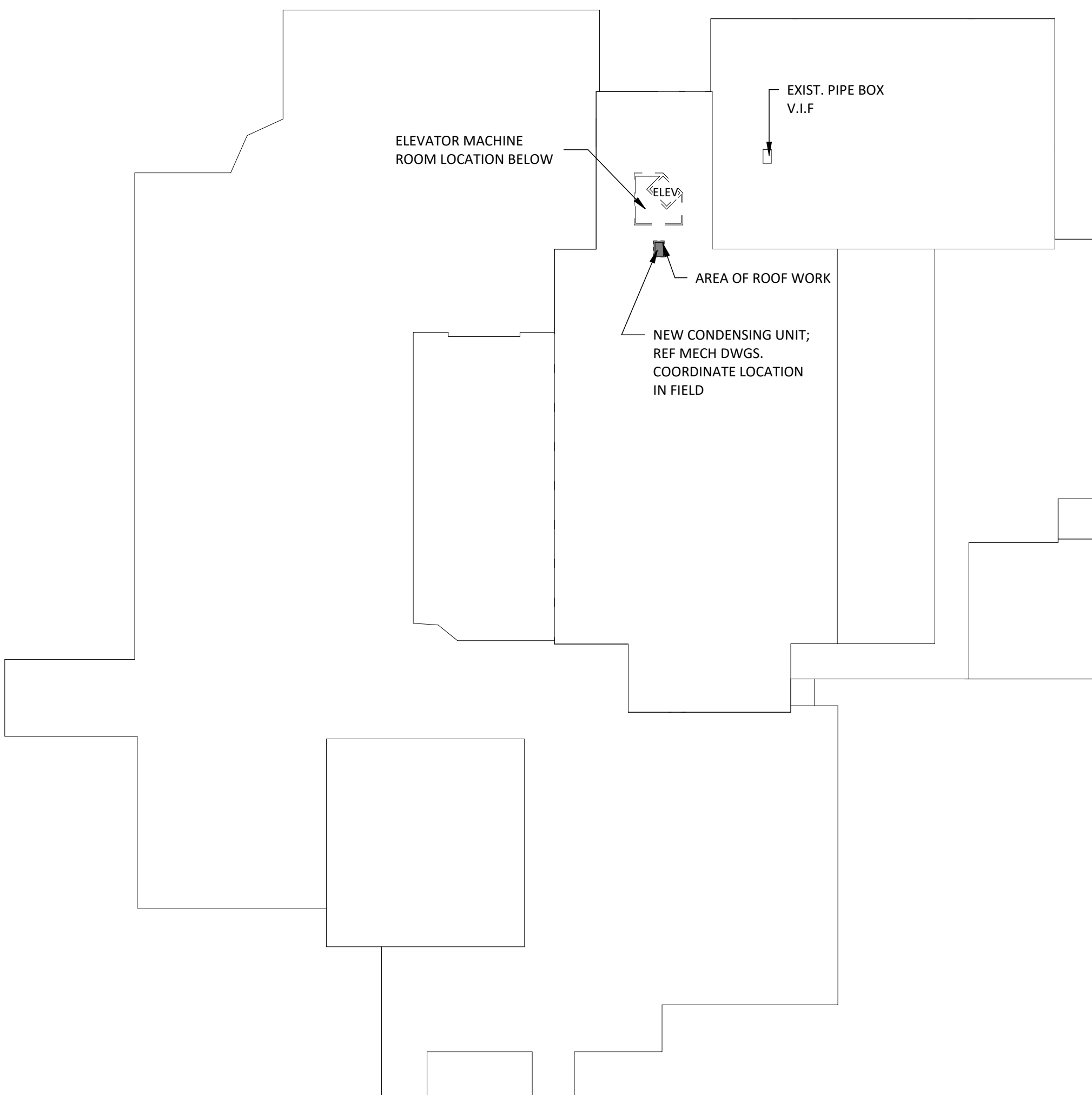
3 ELEVATOR HEAD DETAIL
A102 SCALE 1 1/2" = 1'-0"



4 ELEVATOR THRESHOLD DETAIL
A102 SCALE 1 1/2" = 1'-0"



7 ELEVATOR LADDER DETAIL
A102 SCALE 1" = 1'-0"



8 EXIST ROOF PLAN
A102 SCALE 1/32" = 1'-0"

dci
ARCHITECTS
107A W EDMONSTON DRIVE
ROCKVILLE, MD 20852
(P) 301-605-7005
(C) 301-404-0449

OWNER



DIVISION OF CONSTRUCTION
45 W. GUDE DRIVE, 4TH FLOOR
ROCKVILLE, MD 20850

MECHANICAL /
PLUMBING /
ELECTRICAL
ENGINEER

CTA CONSULTING
ENGINEERS, INC
220 NORTH ADAMS ST
ROCKVILLE, MD 20850
(P) 301-762-7172

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland

License Number: 13183

Expiration Date:
July 12, 2026

FAIRLAND ELEMENTARY SCHOOL
ELEVATOR MODERNIZATION

14315 FAIRDALE RD.
SILVER SPRING, MD 20905

ELEVATOR DETAILS

PROJECT NO. 24-079

DRAWN BY MAS

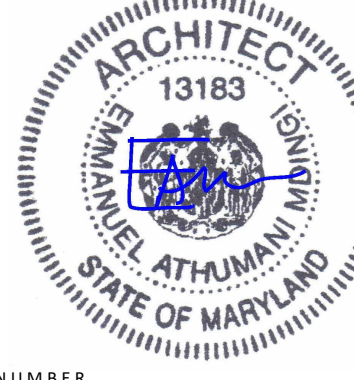
REVIEWED BY EM/AC/EH

PROJECT ISSUE DATE

PERMIT/BID SET ISSUE 03.12.2025

REV. ISSUE: DATE

DRAWING STAMP



SHEET NUMBER

A102

GENERAL NOTES

- THE WORK SHALL INCLUDE ALL DEMOLITION, FURNISHING AND INSTALLING ALL HEATING, AIR CONDITIONING, VENTILATION, PLUMBING, AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - THE CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS, AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A BID. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED.
 - PRIOR TO FABRICATION OF DUCTWORK, THIS CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. IF DUCTS CANNOT BE INSTALLED AS SHOWN ON THE DRAWINGS, THIS CONTRACTOR SHALL NOTIFY THE OWNER'S ARCHITECT IMMEDIATELY. ANY EXTRA OR DEDUCT NECESSITATED BY THE ABOVE CONDITION SHALL BE SUBMITTED TO THE OWNER'S ARCHITECT IN WRITING PRIOR TO THE CONTINUATION OF THE WORK.
 - ALL THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE EDITIONS OF THE INTERNATIONAL MECHANICAL CODE, AND ALL LOCAL CODES AND REGULATIONS. WHERE ANY PORTIONS OF THE SYSTEMS SHOWN ON THE DRAWINGS IS NOT IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS OR CODES, THIS CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED BY THE ENFORCING AUTHORITIES IN A MANNER APPROVED BY THE ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL ORDER AND OBTAIN ALL NECESSARY TESTS, PERMITS AND CERTIFICATES OF APPROVAL AND PAY ANY REQUIRED FEES FOR SAME.
 - WORK SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY PERSONS OR WEATHER AND ALL DAMAGED WORK RESTORED TO A NEW CONDITION BEFORE FINAL ACCEPTANCE.
 - IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS, ETC., THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.
 - THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR FOR THE EXACT LOCATION OF CHASES, FURRING SPACES, DROPPED CEILINGS, STRUCTURE PENETRATIONS, PAINTING, ETC.
 - EXAMINE ALL SERVICES, EQUIPMENT, SURFACES ETC., WHICH THIS WORK IS IN ANY WAY DEPENDENT UPON. SHOULD THE CONTRACTOR DISCOVER ANY CONDITIONS WHICH WILL PREVENT FOLLOWING GOOD PRACTICE OR RESULT IN LESS THAN A FIRST-CLASS INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S ARCHITECT IMMEDIATELY AND SHALL NOT PROCEED WITH HIS WORK UNTIL HE HAS RECEIVED INSTRUCTIONS FROM THE OWNER'S AGENT.
 - THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION TO BE FREE FROM DEFECTS FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTS OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL EQUIPMENT REQUIRING ELECTRIC POWER SHALL BE SUITED FOR USE WITH THE POWER TO BE SUPPLIED. ALL ELECTRICAL REQUIREMENTS SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.
 - ALL EQUIPMENT SHALL BE TESTED FOR PROPER OPERATION AND CORRECTED AS NECESSARY. TEST, ADJUST AND BALANCE ALL AIR SYSTEMS TO PROVIDE AIR QUANTITIES SHOWN ON THE FLOOR PLANS AND PREPARE BALANCING REPORTS. TESTING, BALANCING AND BALANCING REPORTS SHALL BE IN ACCORDANCE WITH PROCEDURES OUTLINED BY THE AABC OR THE NEBB. TESTING & BALANCING SHALL BE PERFORMED BY A CERTIFIED BALANCING CONTRACTOR EITHER WITH AABC OR NEBB.
 - CONTRACTOR SHALL INSTRUCT THE OWNER IN THE OPERATION AND MAINTENANCE OF ALL COMPONENTS OF THE INSTALLATION.
 - PROTECTION OF EXISTING WORK: EXISTING WORK TO REMAIN AND EXISTING WORK TO BE RELOCATED SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. COVER EQUIPMENT AS NECESSARY TO PROTECT IS FROM DUST AND DEBRIS. FLOORS TO REMAIN SHALL BE COVERED TO PROTECT THEM FROM DAMAGE. AT THE END OF EACH WORKING DAY AND DURING INCLEMENT WEATHER, CLOSE EXTERIOR OPENINGS WITH WEATHER PROOF COVERS.
- CLEAN UP: REMOVE DEBRIS AND RUBBISH FROM THE SITE AT THE END OF EACH WORKING DAY.
 - IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS ETC. THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.
- PROVIDE PIPING IDENTIFICATION FOR PLUMBING PIPING AS MANUFACTURED BY BRADY B-500 PERMA CODE TAPE OR SETON SNAP AROUND. ALL PIPING LABELING (TEXT AND ARROWS) SHALL BE LEGIBLE FROM THE FLOOR LEVEL.
 - FIRE SUPPRESSION:
 - DRAIN EXISTING FIRE SUPPRESSION SYSTEM AND RE-ARRANGE THE EXISTING PIPING AND HEADS AS REQUIRED INSTALL NEW PUMP. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA-13, AND THE FIRE MARSHALL'S REQUIREMENTS. ALL EQUIPMENT SHALL BE UL AND FM APPROVED.
 - QUALITY ASSURANCE
 - MANUFACTURER'S QUALIFICATIONS: FIRMS REGULARLY ENGAGED IN THE MANUFACTURE OF MECHANICAL EQUIPMENT, OF TYPES AND CAPACITIES REQUIRED, WHOSE PRODUCTS HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR NOT LESS THAN 5 YEARS.
 - INSTALLER'S QUALIFICATIONS: FIRMS WITH AT LEAST 5 YEARS OF SUCCESSFUL INSTALLATION EXPERIENCE WITH PROJECTS UTILIZING MECHANICAL SYSTEMS SIMILAR TO THOSE REQUIRED FOR THIS PROJECT.
 - ANY EQUIPMENT WHICH CONTAINS MECHANICAL/ELECTRICAL/ELECTRONIC COMPONENTS SHALL BE INSTALLED AND ADJUSTED BY FACTORY CERTIFIED PERSONNEL.
 - ANY ADJUSTMENTS TO EQUIPMENT SHALL BE PERFORMED BY FACTORY AUTHORIZED, FACTORY CERTIFIED TECHNICIANS.
 - THE CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER, ANY WARRANTY WHICH IS VOIDED BY THE MANUFACTURER DUE TO THE USE OF UNQUALIFIED PERSONNEL.
 - AFTER INSTALLATION, EQUIPMENT SHALL BE TESTED AND ADJUSTED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS/INSTRUCTIONS

SUBSCRIPTS ADJACENT TO SYMBOLS

- (E) EXISTING DEVICE
(EXR) EXISTING RELOCATED DEVICE
(XR) EXISTING DEVICE TO BE REMOVED AND RELOCATED
(X) EXISTING DEVICE TO BE REMOVED

HVAC SYMBOLS LIST

- EXISTING WORK
- EXISTING DUCTWORK TO BE REMOVED
SINGLE LINE REPRESENTATION
- NEW DUCTWORK
- CONDENSATE PIPE
- STORM SEWER PIPING
- DOOR UNDERCUT
- POINT OF CONNECTION NEW TO EXISTING
- RETURN OR EXHAUST REGISTER
- EXISTING DIFFUSER. REBALANCE FOR CFM SHOWN.

ABBREVIATIONS

- AFF ABOVE FINISHED FLOOR
CFM CUBIC FEET PER MINUTE
CLG CEILING
CD CEILING DIFFUSER
DIA DIAMETER
DN DOWN
ER EXHAUST REGISTER
EXIST. EXISTING
F FAN
FLR FLOOR
IE INVERT ELEVATION
MIN MINIMUM
RR RETURN REGISTER
RA RETURN AIR
TYP TYPICAL
UNO UNLESS OTHERWISE NOTED
UP THRU ROOF
VD VOLUME DAMPER

dc**i**
ARCHITECTS

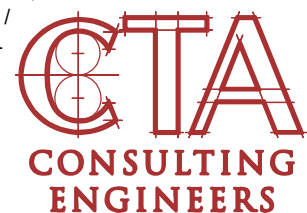
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CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404

Expiration Date:
April 12, 2025

FAIRLAND ELEMENTARY SCHOOL ELEVATOR MODERNIZATION

14315 FAIRDALE RD.
SILVER SPRING, MD 20905

SPECIFICATIONS, SYMBOLS
& ABBREVIATIONS

PROJECT NO. 24081.10

DRAWN BY A.G & L.B

REVIEWED BY C.A

PROJECT ISSUE DATE

PERMIT/BID SET 02.04.2025

REV. ISSUE: DATE

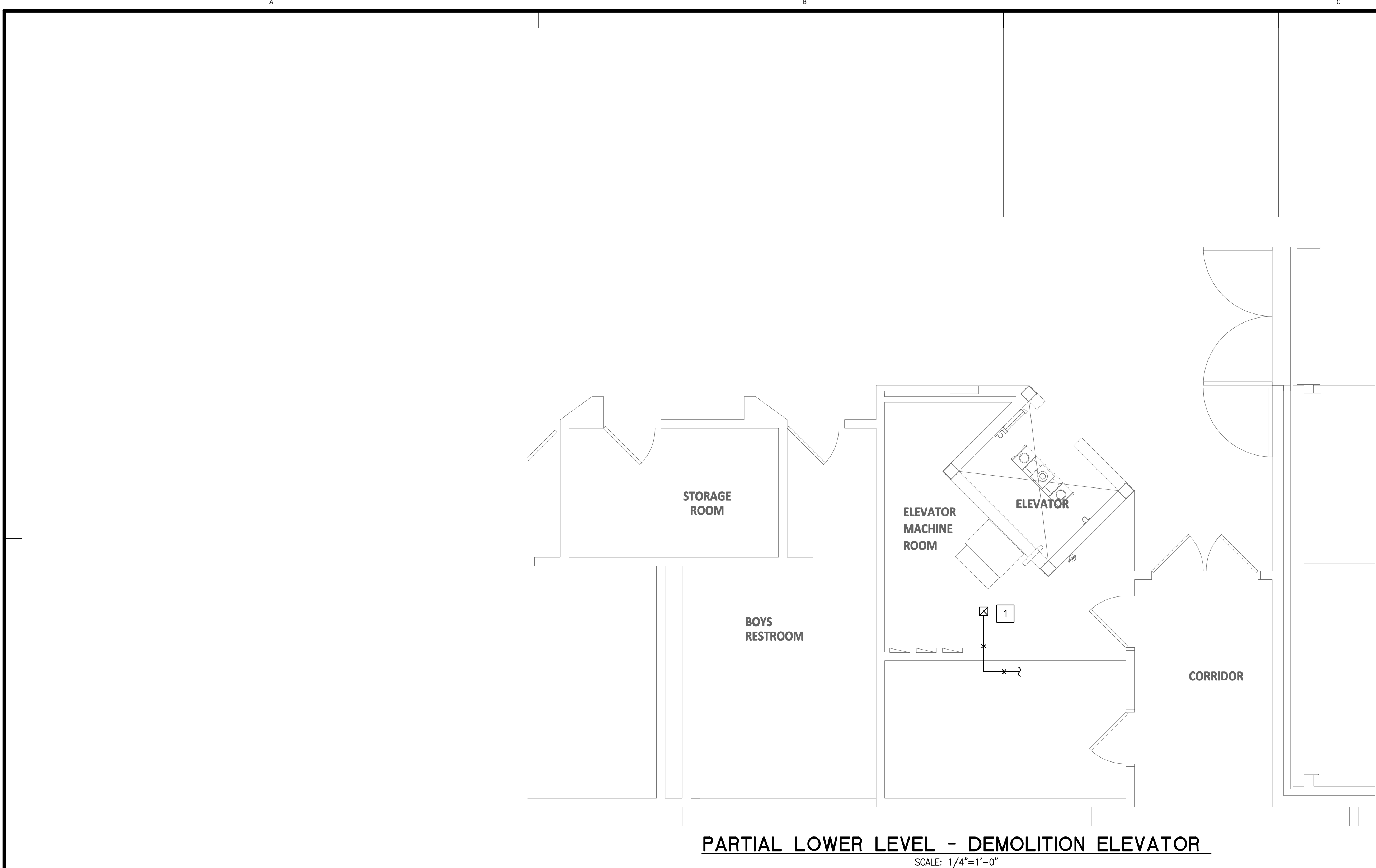
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MP000

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PARTIAL LOWER LEVEL - DEMOLITION ELEVATOR

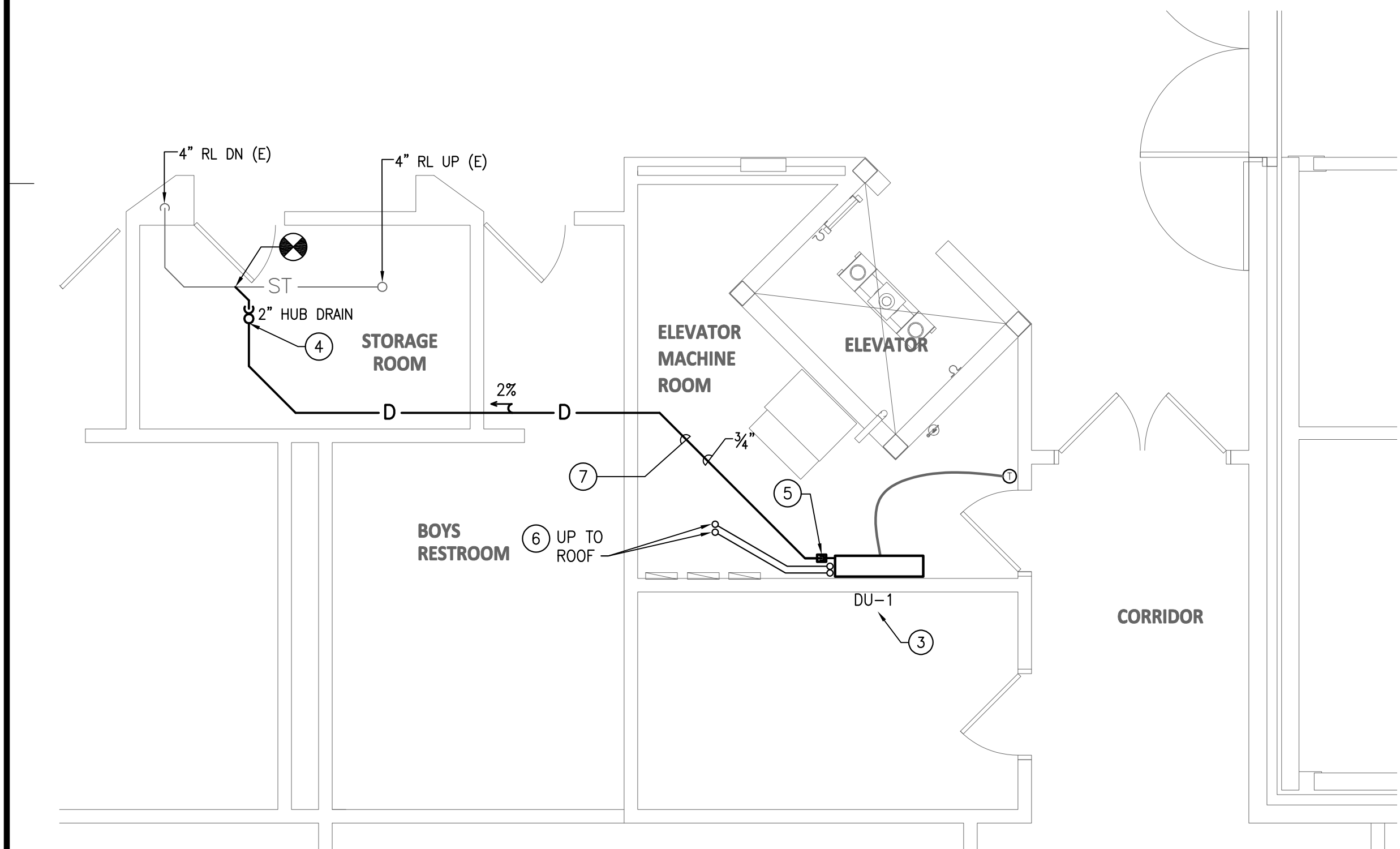
SCALE: 1/4"=1'-0"

GENERAL NOTES: DEMOLITION

- A. ALL WORK SHOWN ON THIS PLAN IS EXISTING AND TO REMAIN UNLESS OTHERWISE INDICATED.
- B. 2. LOCATION OF EXISTING DUCTWORK, AIR DEVICES, PIPING AND AIR HVAC EQUIPMENT WERE TAKEN FROM EXISTING DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF LOCATION, ELEVATIONS, AND SIZES DURING CONSTRUCTION.

REFERENCE NOTES: DEMOLITION #

1. REMOVE EXHAUST GRILLE AND ALL ASSOCIATED DUCTWORK BACK TO SOURCE.



PARTIAL LOWER LEVEL - NEW WORK ELEVATOR

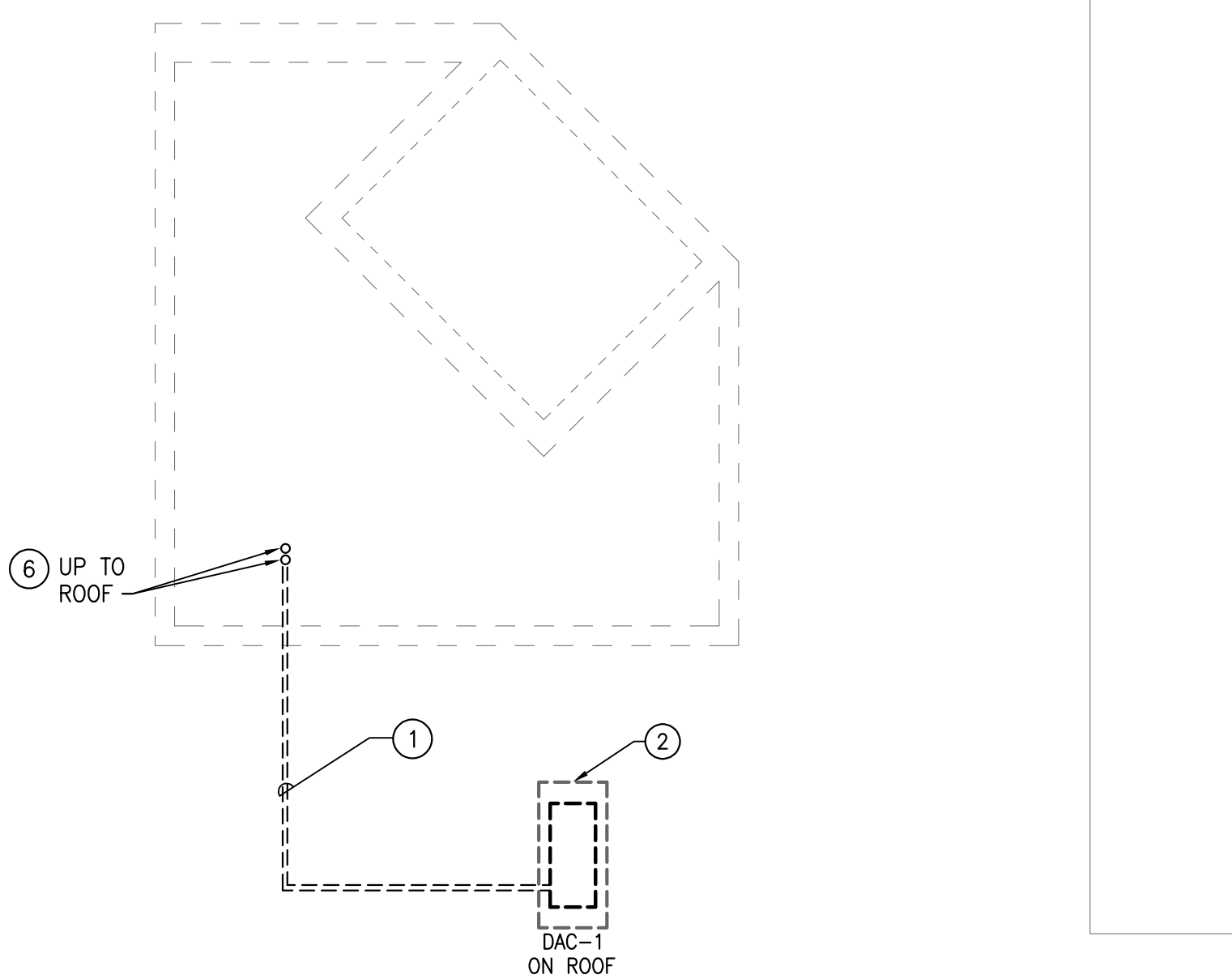
SCALE: 1/4"=1'-0"

GENERAL NEW WORK NOTES:

- A. ALL WORK SHOWN ON NEW WORK PLAN(S) IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.
- B. LOCATION OF EXISTING STORM PIPING SHALL BE FIELD VERIFIED PRIOR TO COMMENCING ANY NEW WORK.

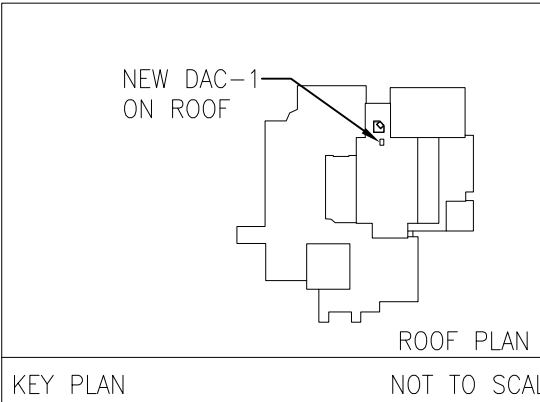
REFERENCE NOTES: NEW WORK #

1. INSTALL REFRIGERANT PIPES ON ROOF AS REQUIRED TO CONNECT TO OUTDOOR UNIT. FIELD COORDINATE EXACT ROUTING.
2. OUTDOOR UNIT ON ROOF, MOUNTED PER DETAIL. FIELD COORDINATE EXACT LOCATION.
3. MOUNT INDOOR UNIT 7' AFF.
4. DISCHARGE 3/4" CONDENSATE PIPE OVER 2" HUB DRAIN.
5. CONDENSATE PUMP BY LITTLE GIANT MODEL VCMA-15ULST. 60 WATTS MOTOR AT 115VOLTS/1PH/60HZ.
6. REFRIGERANT PIPES UP THROUGH EXISTING ROOF. FIELD COORDINATE EXACT ROUTING AND POINT OF ROOF PENETRATION ON 2ND FLOOR.
7. PIPE(S) ABOVE CEILING



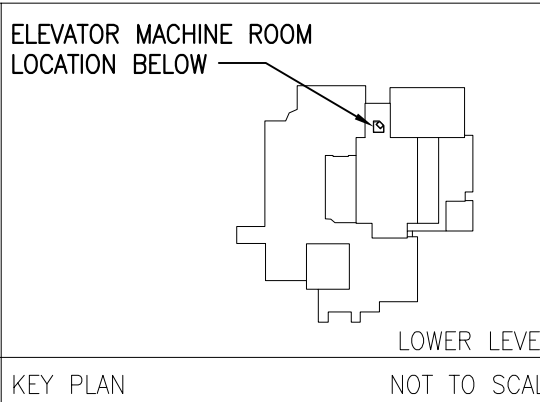
PARTIAL ROOF PLAN - NEW WORK

SCALE: 1/4"=1'-0"



KEY PLAN

NOT TO SCALE



KEY PLAN

NOT TO SCALE

dtci

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PROJECT NO.

24081.10

DRAWN BY

A.G & L.B

REVIEWED BY

C.A.

PROJECT ISSUE DATE

PERMIT/BID SET

02.04.2025

REV.

ISSUE:

DATE

DRAWING STAMP

STATE OF MARYLAND

PROFESSIONAL ENGINEER

12404

24081.10

SHEET NUMBER

MP100

FAIRLAND ELEMENTARY SCHOOL
ELEVATOR MODERNIZATION

14315 FAIRDALE RD.
SILVER SPRING, MD 20905

ELEVATOR - DEMO AND
NEW WORK FLOOR PLANS

ELECTRICAL GENERAL NOTES

GENERAL

1. THE SCOPE OF WORK CONSISTS OF THE DEMOLITION, FURNISHING AND INSTALLATION OF ELECTRICAL AND FIRE ALARM SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. THIS CONTRACTOR SHALL PROVIDE ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT, MACHINERY, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THE SYSTEM. THIS CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AS INDICATED ON THE DRAWINGS AND/OR AS REQUIRED FOR A FUNCTIONING ELECTRICAL SYSTEM.
2. ANY DISCREPANCIES ON THE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION, IN WRITING, BEFORE SUBMITTING THE BID.
3. ELECTRICAL PLANS ARE DIAGRAMMATIC. ALL WIRING AND RACEWAYS SHALL BE INSTALLED CONCEALED ABOVE CEILINGS AND INSIDE WALLS.
4. THE FOLLOWING TERMINOLOGY AND MEANINGS WILL BE USED IN THESE SPECIFICATIONS:
- A. PANELBOARDS "EQUIPPED SPACE" OR "SPACE": INCLUDE ALL NECESSARY BUS, DEVICE SUPPORTS AND CONNECTIONS FOR INSERTION OF A FUTURE DEVICE.
- B. "PROVIDE": FURNISH AND INSTALL.
- C. "THIS CONTRACTOR": THE ELECTRICAL CONTRACTOR.
5. THIS CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS AND VISIT THE JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER, IN WRITING, BEFORE SUBMITTING THE BID.
6. THE ENTIRE ELECTRICAL INSTALLATION SHALL CONFORM TO THE APPLICABLE EDITIONS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL JURISDICTION REQUIREMENTS AND LOCAL STATE CODE REQUIREMENTS.
7. THIS CONTRACTOR SHALL ORDER AND OBTAIN ALL NECESSARY ELECTRICAL TESTS, PERMITS AND CERTIFICATES OF APPROVAL AND PAY ANY REQUIRED FEES FOR SAME.
8. THIS CONTRACTOR SHALL VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING ANY EQUIPMENT OR FIXTURES. ANY EQUIPMENT OR FIXTURES SHALL BE COMPATIBLE WITH AVAILABLE VOLTAGE.
9. SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL BEFORE DELIVERY TO THE JOB SITE. EQUIPMENT, FIXTURES, AND MATERIAL DELIVERED TO THE JOB SITE OR INSTALLED PRIOR TO APPROVAL OF THE SHOP DRAWINGS AND FOR WHICH THE SHOP DRAWINGS ARE SUBSEQUENTLY REJECTED, SHALL BE REPLACED WITH AN APPROVED ITEM AT NO ADDITIONAL COST TO THE OWNER. PROVIDE 6 COPIES FOR THE FOLLOWING ITEMS:
- A. LIGHTING FIXTURES AND SWITCHES INCLUDING BALLASTS, LAMPS, REFLECTORS ETC.
- B. RECEPTACLES
- C. PANELBOARDS
- D. FIRE ALARM DEVICES AND SHOP DRAWINGS
10. UNLESS OTHERWISE NOTED, ALL EQUIPMENT, CIRCUITRY, DEVICES, MATERIALS ETC. SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
11. ALL ELECTRICAL EQUIPMENT AND MATERIALS SHALL BEAR THE UNDERWRITER'S LABORATORIES LABEL.
12. ALL EQUIPMENT SUCH AS PANELBOARDS, TRANSFORMERS, STARTERS AND DISCONNECT SWITCHES SHALL BE AS MANUFACTURED BY EATON/CUTLER-HAMMER, GENERAL ELECTRIC, SQUARE-D, OR SIEMENS.
13. WORK SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY PERSONS OR WEATHER AND ALL DAMAGED WORK RESTORED TO A NEW CONDITION BEFORE FINAL ACCEPTANCE.
14. ALL PENETRATIONS OF FLOOR AND WALLS SHALL BE SEALED WITH UL LISTED PUTTY TYPE SEALING COMPOUND IN ACCORDANCE WITH BOCA, NEC AND NFPA.
15. ALL WORK SHALL BE PERFORMED DURING NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY CONFRM WITH OWNER. IF WORK CANNOT BE PERFORMED DURING NORMAL WORKING HOURS THE OWNER SHALL BE NOTIFIED PRIOR TO THE SIGNING OF THE CONTRACT.
16. THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR OR THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING THE WORK AND FOR DISCONNECTION AND RECONNECTION OF ANY UTILITIES THAT MAY HAVE TO BE DISCONNECTED FOR THE COMPLETION OF THE PROJECT. ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER BEFORE COMMENCEMENT OF WORK, WHETHER OR NOT AN OUTAGE IS REQUIRED.
17. THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR FOR THE EXACT LOCATION OF CHASES, FURRING SPACES, DROPPED CEILINGS, STRUCTURE PENETRATIONS, PAINTING, ETC.
- A. CONSULT ARCHITECTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE, HEADROOM, ROOM FINISHES, TYPE OF CEILING, FLOORS ETC.
18. ALL HVAC/PLUMBING EQUIPMENT INDICATED ON THE DRAWINGS SHALL BE CONNECTED UNDER THIS CONTRACT. ELECTRICAL EQUIPMENT REQUIREMENTS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. THIS CONTRACTOR SHALL COORDINATE ALL SUCH EQUIPMENT POWER REQUIREMENTS AND LOCATIONS WITH THE HVAC/PLUMBING CONTRACTORS PRIOR TO ROUGHING IN ANY DISCONNECT SWITCHES, WIRING, FEEDERS, BREAKERS, ETC. NECESSARY FOR EQUIPMENT INSTALLATION.
19. THIS CONTRACTOR SHALL COORDINATE ALL MOUNTING HEIGHTS FOR SWITCHES, RECEPTACLES, CEILING MOUNTED LIGHTING FIXTURES AND TELEPHONE OUTLETS BY THE USE OF THE ARCHITECTURAL REFLECTED CEILING PLANS AND ELEVATIONS. SHOULD ANY CONFLICTS BECOME APPARENT, THIS CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO INSTALLATION. IF THE WORK IS NOT COORDINATED ANY REMEDIAL WORK SHALL BE REDONE AT NO ADDITIONAL COST TO THE OWNER.
20. FINAL TESTING: AT THE TIME OF FINAL INSPECTION AND TEST, ALL CONNECTIONS AT PANELBOARDS, DEVICES AND EQUIPMENT, AND ALL SPLICES MUST BE COMPLETED. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
21. THIS CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION TO BE FREE FROM DEFECTS FOR TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTS OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
22. THIS CONTRACTOR SHALL MAINTAIN ACCURATE RECORD DRAWINGS OF ALL WORK AS ACTUALLY INSTALLED. ON COMPLETION OF THE PROJECT THE FOLLOWING MATERIAL SHALL BE DELIVERED TO THE OWNER:
- A. TWO (2) COMPLETE SETS OF REPRODUCIBLE DRAWINGS SHALL BE DELIVERED TO THE OWNER AND ONE (1) SET OF DRAWING TO THE A/E FIRM.

B. ALL NEW INSTALLED EQUIPMENT MANUFACTURER'S DATA AND WARRANTY LITERATURE.

DEMOLITION

1. GENERAL: DIVISION I OF THE ARCHITECTURAL SPECIFICATIONS SHALL GOVERN THE SEQUENCE OF CONSTRUCTION.
2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR APPROVAL. THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY WHICH IS TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES, FIRE ALARM SYSTEMS, ELEVATORS, ETC. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF THE METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE OF OPERATION.
3. PROTECTION OF EXISTING WORK: EXISTING WORK TO REMAIN AND EXISTING WORK TO BE RELOCATED SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. COVER EQUIPMENT AS NECESSARY TO PROTECT IT FROM DUST AND DEBRIS. FLOORS TO REMAIN SHALL BE COVERED TO PROTECT THEM FROM DAMAGE. AT THE END OF EACH WORKING DAY AND DURING INCLEMENT WEATHER, CLOSE EXTERIOR OPENINGS WITH WEATHER-PROOF COVERS.
4. TITLE TO EQUIPMENT TO BE RELOCATED IS VESTED IN THE OWNER UPON RECEIPT OF NOTICE TO PROCEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED. EQUIPMENT REMOVED SHALL BE TURNED OVER TO THE OWNER AT A DESIGNATED POINT WITHIN THE PREMISES.
5. AFTER REMOVAL OF ALL DEVICES THIS CONTRACTOR SHALL TURN ALL DEVICES OVER TO OWNER'S REPRESENTATIVE FOR HIM TO INSPECT. AFTER INSPECTED BY THE OWNER'S REPRESENTATIVE THIS CONTRACTOR SHALL REMOVE ALL UNNECESSARY DEVICES OR MATERIALS FROM THE SITE.
6. DISPOSITIONS OF MATERIALS: DISPOSE OF EQUIPMENT AND MATERIALS TO BE DEMOLISHED IN A SAFE MANNER AND IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
7. THIS CONTRACTOR SHALL CLEAN THE PROJECT SITE AND REMOVE DEBRIS AND RUBBISH AT THE END OF EACH WORKING DAY.
8. IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS ETC. THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.
9. PROVIDE BLANK COVER PLATES ON ALL EXISTING OUTLETS NOT REUSED. COVER PLATES TO MATCH PROJECT SPECIFICATIONS.
10. PRIOR TO STARTING THE WORK, THIS CONTRACTOR SHALL PERFORM A CIRCUIT TRACING TO TEST THE EXISTING WORK TO REMAIN (OUTLETS, LIGHTING, LIGHT SWITCHES WIRING ETC.) FOR PROPER VOLTAGE, OPERATION AND BRANCH CIRCUIT ORIGINATION. A WRITTEN REPORT SHALL BE PREPARED INDICATING ANY DEFICIENCIES AND RECOMMENDED REPAIRS. SUBMIT FOUR (4) COPIES OF THIS REPORT TO THE ARCHITECT/OWNER FOR REVIEW. NO ADDITIONAL CHARGES WILL BE CONSIDERED AFTER COMPLETION OF THE WORK, TO REPAIR/CONNECT EXISTING OUTLETS UNLESS THESE WERE DESCRIBED IN THE REPORT ABOVE. ANY EXISTING DEVICES DISCONNECTED DURING CONSTRUCTION SHALL BE RE-CONNECTED AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTINUITY OF ALL EXISTING CIRCUITS WHICH ARE TO REMAIN OPERATIONAL SHALL BE MAINTAINED THROUGHOUT THE FACILITY. THIS CONTRACTOR SHALL IDENTIFY ALL CIRCUITS THAT SUPPLY POWER TO AREAS TO REMAIN, LABEL THESE CIRCUITS AND MAKE SURE THEIR POWER IS NOT INTERRUPTED DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING CIRCUITS TO REMAIN SHALL BE RECONNECTED TO NEW OR EXISTING PANELS.
12. CONTRACTOR SHALL REMOVE ALL POWER, COMMUNICATIONS WIRING AND CONDUIT FROM LUMINAIRES, RECEPTACLES, TELEPHONE, DATA, CCTV AND CABLE TV OUTLETS TO BE REMOVED UNDER THE DEMOLITION PHASE. ALL WIRING AND CONDUIT SHALL BE REMOVED BACK TO SOURCE.
13. EXISTING FIRE ALARM AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED IN SERVICE DURING DEMOLITION AND NEW CONSTRUCTION.
14. THIS CONTRACTOR SHALL RESTORE ALL AREAS, SYSTEMS AND ASSOCIATED DEVICES, COMPONENTS, ETC., DISTURBED BY HIS WORK TO THE SATISFACTION OF THE OWNER, ARCHITECTS, AND ENGINEER.

LABELING

1. PROVIDE LABELING FOR ALL FEEDER RACEWAYS, ELECTRICAL PANELS, AND ALL MAJOR PIECES OF EQUIPMENT AS FOLLOWS:
- A. ALL RECEPTACLE PLATE COVERS SHALL BE LABELED WITH PANEL DESIGNATION AND CIRCUIT NUMBER.
- B. ALL FEEDER RACEWAYS SHALL BE LABELED AS TO ITEM SERVED WITH MINIMUM 1/4" HIGH LETTERS.
- C. ALL JUNCTION BOXES FOR BRANCH CIRCUITRY SHALL BE LABELED WITH PANEL DESIGNATION AND CIRCUIT NUMBERS WITH MINIMUM 1/4" HIGH LETTERS.
- D. ALL STARTERS AND DISCONNECTS SHALL BE LABELED WITH 1/4" ENGRAVED WHITE LETTERS BLACK LAMACOID BACKGROUND NAME PLATES. NAME PLATE SHALL BE LABELED "F - NO." OR "AHU - NO." ETC.

PANELBOARDS

1. CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY SPACING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
2. BEFORE ORDERING PANELBOARDS, COORDINATE ALL MOTOR CIRCUIT BREAKER TRIPS WITH MECHANICAL EQUIPMENT MANUFACTURER'S REQUIREMENTS. COORDINATE CONDUCTOR SIZE WITH ACTUAL MOTORS AND OTHER MECHANICAL AND ARCHITECTURAL EQUIPMENT FURNISHED BEFORE INSTALLING CIRCUITRY.
3. ALL PANELBOARDS SHALL HAVE COMMON KEYED LOCKS. PROVIDE A MINIMUM OF TWO KEYS PER PANEL. PANELBOARDS SHALL BE COMPLETE WITH COVER AND TRIM AND SHALL CONTAIN A GROUND BUS.
4. SURFACE MOUNTED PANELBOARD CABINETS SHALL BE INSTALLED ON AN APPROVED STEEL FRAMEWORK TO DISTRIBUTE THE WEIGHT EVENLY TO THE WALL OR FLOOR AND TO PROVIDE A 1-INCH AIR SPACE BETWEEN WALL AND CABINET.
5. ON RECESSED PANELBOARDS, PROVIDE ONE 3/4" EMPTY CONDUIT FROM TOP OF PANEL 6" INTO CEILING SPACE FOR EVERY 3 SPARE CIRCUIT BREAKERS OR SPACES.
6. PROVIDE BOLT ON TYPE BRANCH CIRCUIT BREAKERS. THE BRANCH CIRCUIT BREAKERS SHALL BE CONSTRUCTED WITH OVER CENTER TRIP FREE, AND POSITIVE HANDLE TRIP WITH COMMON TRIP ON ALL MULTIPLE POLE BREAKERS.
7. AFTER COMPLETION OF WORK, PROVIDE A TYPED CIRCUIT DIRECTORY FOR EACH EXISTING PANELBOARD TO REMAIN, AFFECTED BY THIS WORK AND FOR EACH NEW PANELBOARD.

SWITCHES, RECEPTACLES & OUTLETS

1. PRIOR TO INSTALLATION OF ANY TELEPHONE, DATA AND RECEPTACLE OUTLETS, THIS CONTRACTOR SHALL VERIFY ITS FINAL LOCATION WITH THE ARCHITECTURAL PLANS.
2. WHERE TWO OR MORE DEVICES OF THE SAME VOLTAGE ARE SHOWN TOGETHER ON THE PLANS, A GANGED PLATE SHALL BE USED. DEVICES OF DIFFERENT VOLTAGES SHALL BE SEPARATED HORIZONTALLY BY 6" AND SHALL BE HORIZONTALLY OR VERTICALLY ALIGNED.
3. ALL RECEPTACLES, TELEPHONE, AND DATA OUTLETS SHOWN ON A WALL BACK TO BACK SHALL BE OFFSET A MINIMUM OF 6" HORIZONTALLY.
4. WALL PLATES SHALL BE STAINLESS STEEL. FINISH AS SELECTED BY THE ARCHITECT.
5. COORDINATE LIGHT SWITCHES SHOWN ON DRAWINGS WITH DOOR SWINGS. LOCATE LIGHT SWITCH ON LOCK SIDE OF DOOR.

LIGHTING FIXTURES

1. THIS CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS, FURNITURE AND EQUIPMENT ARE CORRECT BEFORE INSTALLING LIGHT SWITCHES AND OUTLETS.
2. THIS CONTRACTOR SHALL VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING ANY FIXTURES. ALL FIXTURES SHALL BE COMPATIBLE WITH AVAILABLE VOLTAGE.
3. COORDINATE RECESSED LIGHTING FIXTURES WITH SPRINKLERS, MECHANICAL EQUIPMENT AND ARCHITECTURAL CEILING PLAN. GRID LAYOUT ON PLANS IS APPROXIMATE, ADJUST AND COORDINATE LIGHTING FIXTURES IN FIELD PER ARCHITECTS REFLECTED CEILING PLAN.
4. THIS CONTRACTOR SHALL VERIFY THE TYPE OF CEILING TO INSURE THAT ALL LIGHTING FIXTURES ARE SUITABLE WITH CEILING FINISH.
5. PROVIDE FINISHED FRAMES FOR ALL RECESSED LIGHTING FIXTURES, TYPE TO BE COMPATIBLE WITH CEILING. COORDINATE ALL FIXTURE TYPES WITH CEILING SYSTEM BEFORE ORDERING FIXTURES. PROVIDE ALL MOUNTING ATTACHMENTS FOR A COMPLETE INSTALLATION. LIGHTING FIXTURES SHALL BE SUPPORTED FROM BUILDING STRUCTURE. LIGHTING FIXTURES SUPPORTED FROM CEILING SYSTEM OR MECHANICAL EQUIPMENT WILL NOT BE ACCEPTED.
6. ALL NEW LIGHTING FIXTURES SHALL BE INSTALLED COMPLETE WITH LED. SEE PLANS FOR SPECIFIC REQUIREMENTS.
7. COLORS AND FINISHES OF LIGHTING FIXTURES SHALL BE AS SELECTED BY THE ARCHITECT.

STARTERS AND DISCONNECT SWITCHES

1. THIS CONTRACTOR SHALL NOTE U.L. LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF U.L. LABEL ON MECHANICAL EQUIPMENT TO BE INSTALLED CALLS FOR THE OVERCURRENT PROTECTIVE DEVICE TO BE FUSED, THIS CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DRAWINGS.
2. LOCATE DISCONNECT SWITCH FOR MECHANICAL EQUIPMENT TO PERMIT SERVICING OF EQUIPMENT. PROVIDE FUSES IF REQUIRED BY MANUFACTURER OF EQUIPMENT FOR UL APPROVAL. CONNECT CONDUCTORS AS REQUIRED BY MANUFACTURER.
3. DISCONNECT SWITCHES INDICATED SHALL BE HEAVY- DUTY TYPE, HORSEPOWER RATED, QUICK-MAKE, QUICK-BREAK TYPE SWITCHES WITH SPRING REINFORCED WIRE GRIPS AND SELF-ALIGNING SWITCH CONTACTS AND SHALL BE ENCLOSED IN NEMA-1 UNLESS OTHERWISE NOTED. ENCLOSURE SHALL BE HEAVY METAL WITH HINGED INTERLOCKING COVER WHICH PREVENTS BEING OPEN IN "ON" POSITION.
4. PROVIDE CARTRIDGE TYPE FUSES IN SWITCHES.

BRANCH CIRCUITRY

1. ALUMINUM WIRING WILL NOT BE PERMITTED.
2. ALL WIRING SHALL BE 2#12+#12G IN 3/4" CONDUIT UNLESS NOTED OTHERWISE.
3. ALL CIRCUITRY ROUTING SHOWN IS DIAGRAMMATIC. THIS CONTRACTOR SHALL DETERMINE IN FIELD THE MOST SUITABLE ROUTES.
4. MINIMUM SIZE EMT OR CONDUIT SHALL BE 3/4".
5. NO NONMETALLIC CONDUIT SHALL BE USED FOR BRANCH CIRCUIT WORK ABOVE GRADE.
6. CIRCUITRY SHALL BE INSTALLED CONCEALED IN FINISHED AREAS, EXPOSED IN UNFINISHED AREA.
7. CIRCUITRY SHALL BE INSTALLED TIGHT TO THE UNDERSIDE OF THE FLOOR SLAB ABOVE IN A NEAT WORKMANLIKE MANNER. ALL INSTALLATION SHALL BE PARALLEL OR PERPENDICULAR TO BUILDING WALLS.
8. ALL EMPTY RACEWAYS SHALL CONTAIN A DRAG WIRE. EMPTY RACEWAYS 2" OR LARGER IN SIZE SHALL HAVE A MAXIMUM OF 3-90 DEGREE BENDS.
9. MAKE FINAL CONNECTION TO ALL MOTORS AND VIBRATING EQUIPMENT WITH FLEXIBLE CONDUIT.
10. ALL CONDUIT/CABLE PENETRATIONS OF EXTERIOR WALLS, FIRE RATED WALLS AND FIRE RATED FLOORS, SHALL BE CAULKED AND SEALED WATERTIGHT. SEALS FOR FIRE RATED PENETRATIONS SHALL BE SEALED WITH UL LISTED PUTTY TYPE SEALING COMPOUND.
11. CONTRACTOR SHALL X-RAY THE CONCRETE FLOOR SLAB PRIOR TO CORE DRILLING OR CHISELING TO INSTALL NEW SLEEVES OR CONDUITS.
12. WIRING SHALL BE ARMORED CABLE OR METAL CLAD WIRING. ALL HOME RUNS SHALL BE INSTALLED IN GALVANIZED EMT.
13. FEEDER CONDUITS SHALL BE GALVANIZED EMT OR HEAVY WALL GALVANIZED RIGID STEEL.

WIRE AND CABLE

1. THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THIS CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
2. ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN WALL OR INSTALLED ALONG BEAMS UNLESS INDICATED OTHERWISE.

ELECTRICAL SYMBOLS

- 1' X 4' LED LIGHTING FIXTURE
- NEW LED LIGHT FIXTURE MANUFACTURER
BY WILLIAMS CATALOG #96-4-L40-840-HIAFR-WET/1-UNIV,
FOR ELEVATOR PIT PROVIDE PART #WMB OR PROVIDE SIMILAR LIGHT FIXTURE.
- 20A, 277/120V SINGLE POLE TOGGLE SWITCH, MOUNTED +48"
- 20AMP, 125V 3W DUPLEX RECEPTACLE WITH BUILT-IN GROUND FAULT CIRCUIT INTERRUPTER MOUNTED+18" AFF UON
- 20A, 125V, 3W WEATHER-RESISTANT DUPLEX RECEPTACLE WITH BUILT-IN GROUND-FAULT CIRCUIT INTERRUPTER AND WEATHERPROOF COVER (WET LOCATION) MOUNTED +18" ABOVE FINISH FLOOR.
- JUNCTION BOX
- FUSIBLE DISCONNECT SWITCH, "30/2/20" AMPERE/POLES/FUSE SIZE
- WIRING AND CONDUIT CONCEALED IN CEILING OR WALL
- WIRING AND CONDUIT CONCEALED IN FLOOR
- BRANCH CIRCUIT HOMERUN. NUMBER OF ARROWS INDICATE NUMBER OR CIRCUITS, NUMBER OF HASH MARKS INDICATE NUMBER OR WIRES IN CONDUIT WHEN MORE THAN TWO. GROUND WIRE NOT SHOWN, BUT REQUIRED. ALL CIRCUITS SHALL HAVE A SEPARATE INSULATED GROUND WIRE
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- DATA/TELEPHONE OUTLET, MOUNTED +18" AFF UON
CONTRACTOR SHALL PROVIDE 1 1/2" EMPTY CONDUIT EXTENDING ABOVE FINISHED CEILING SPACE SHALL BE TERMINATED WITH 90 DEGREE BEND APPROXIMATE 12" ABOVE THE HUNG CEILING, TERMINATED WITH PULL WIRE AND INSULATED BUSHING.
- SMOKE DETECTOR
- HEAT DETECTOR
- CALL BUTTON

ABBREVIATIONS

A	AMPERES OR AMP
AC	ALTERNATING CURRENT
ADA	AMERICANS WITH DISABILITIES ACT
AIC	AMPERE INTERRUPTING CURRENT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
C	CONDUIT
CAT	CATALOG
CKT	CIRCUIT
CU	COPPER
C/B	CIRCUIT BREAKER
C/T	CURRENT TRANSFORMER
CW	COOL WHITE
D	DEPTH
DWG	DRAWING
EC	EMPTY CONDUIT WITH PULL WIRE
FIXT	FIXTURE
FLA	FULL LOAD AMP
FLUO	FLUORESCENT
FLR	FLOOR
FT	FEET
G/GRND	GROUND OR GROUNDING
GFI	GROUND FAULT INTERRUPTER
H	HEIGHT
HP	HORSEPOWER
FBO	FURNISHED BY OTHERS INSTALLED BY THIS CONTRACTOR
INC	INCANDESCENT
KCMIL	THOUSAND CIRCULAR MILS
KV	KILOVOLT
KVA	KILOVOLTAMPS
KW	KILOWATTS
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MOP	MAXIMUM OVERCURRENT PROTECTION
MIN	MINIMUM
MISC	MISCELLANEOUS
MLO	MAIN LUGS ONLY
MTG	MOUNTING
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NIC	NOT IN CONTRACT
NO/#	NUMBER
PVC	POLYVINYL CHLORIDE
RM	ROOM
TYP	TYPICAL
U/G	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
V	VOLTAGE OR VOLT
VA	VOLT AMP
W	WATTS
W/	WITH
WP	WEATHERPROOF

SUBSCRIPTS ADJACENT TO SYMBOLS

(E)	EXISTING DEVICE
(EXR)	EXISTING RELOCATED DEVICE
(XR)	EXISTING DEVICE TO BE REMOVED AND RELOCATED
(X)	EXISTING DEVICE TO BE REMOVED
(N)	NEW DEVICE
(XN)	REPLACE WITH NEW



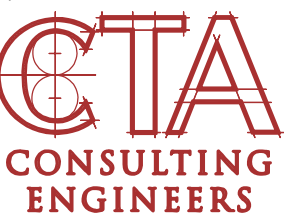
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OWNER



DIVISION OF CONSTRUCTION
45 W. GUDE DRIVE, 4th FLOOR
ROCKVILLE, MD 20850

MECHANICAL /
PLUMBING /
ELECTRICAL
ENGINEER



220 North Adams Street, Rockville, MD 20850
(301) 782-7172
Ph. No.: 2408110

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404

Expiration Date:
April 12, 2025

FAIRLAND ELEMENTARY SCHOOL
ELEVATOR MODERNIZATION

14315 FAIRDALE RD.
SILVER SPRING, MD 20905
GENERAL NOTES, SYMBOLS
&
ABBREVIATIONS

PROJECT NO.	24081.10
DRAWN BY	E.J.C.
REVIEWED BY	R.C.

PROJECT ISSUE DATE	PERMIT/BID SET	02.04.2025
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REV.	ISSUE:	DATE

DRAWING STAMP



SHEET NUMBER

E001

GENERAL NOTES: DEMOLITION

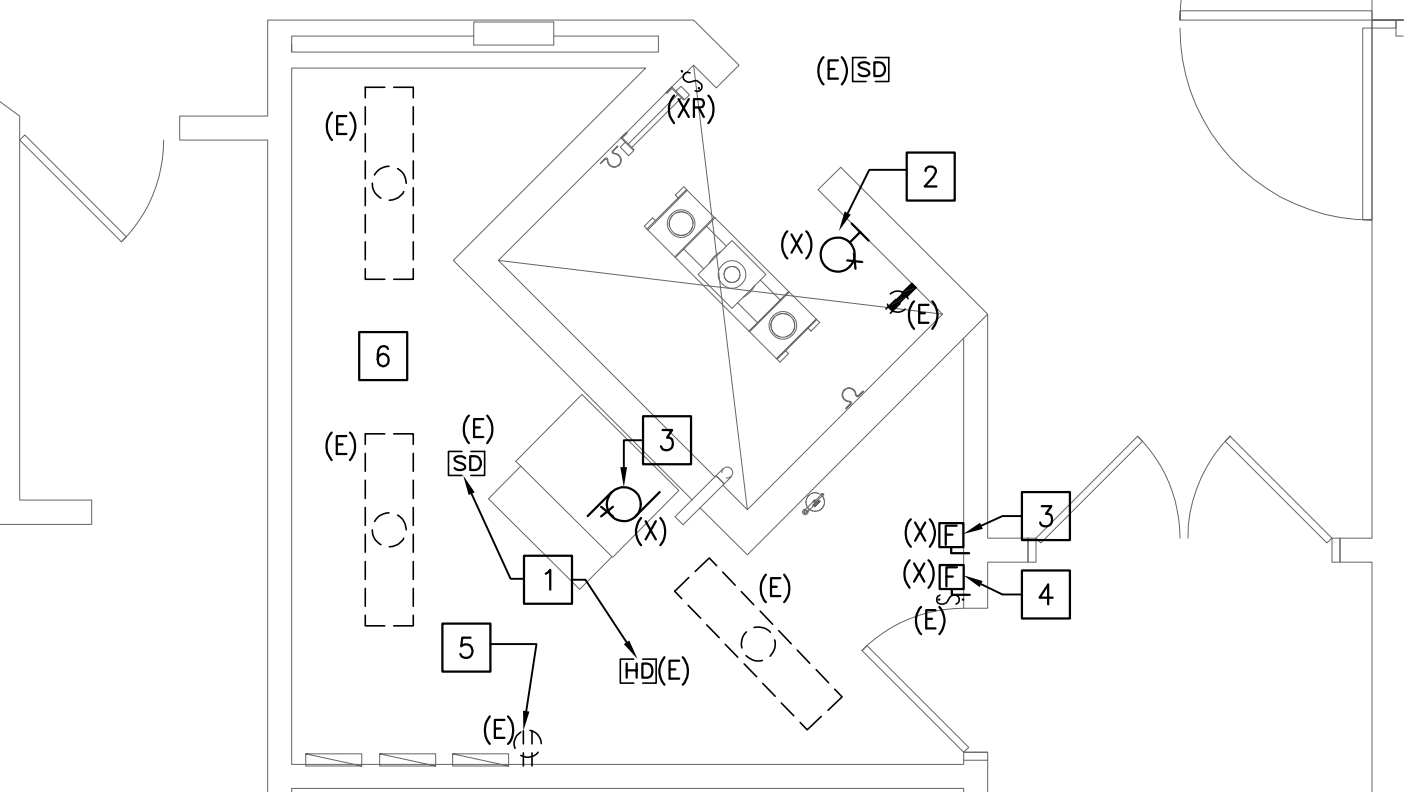
A. ALL WORK ON THIS PLAN IS EXISTING TO REMAIN UNLESS OTHERWISE INDICATED TO BE REMOVED.

REFERENCE NOTES: DEMOLITION #

- EXISTING FIRE ALARM DEVICES SERVING ELEVATOR MACHINE ROOM TO REMAIN U.O.N.
- EXISTING ELEVATOR PIT LIGHT FIXTURE TO BE REMOVE AND REPLACE WITH NEW. REMOVE ASSOCIATED CONDUIT/WIRE BACK TO PANEL REFER TO NEW WORK.
- EXISTING ELEVATOR MOTOR 15HP 208V 3Ø, MOTOR TO BE REMOVE AND REPLACE IN KIND REMOVE ALL ASSOCIATED DISCONNECT SWITCH, CONDUIT AND WIRING, ETC. BACK TO SOURCE. TO BE REPLACE WITH NEW SEE NEW WORK.
- EXISTING ELEVATOR DISCONNECT SWITCH SERVING CAR FAN & LIGHT TO BE REMOVE AND REPLACE WITH NEW REMOVE WITH ASSOCIATED CONDUIT, AND WIRING BACK TO SOURCE REFER TO NEW WORK.
- CONTRACTOR SHALL REMOVE RECEPTACLE AND REPLACE WITH A GFCI RECEPTACLE.
- EXISTING LIGHT FIXTURE IN ELEVATOR MACHINE ROOM TO REMAIN U.O.N..

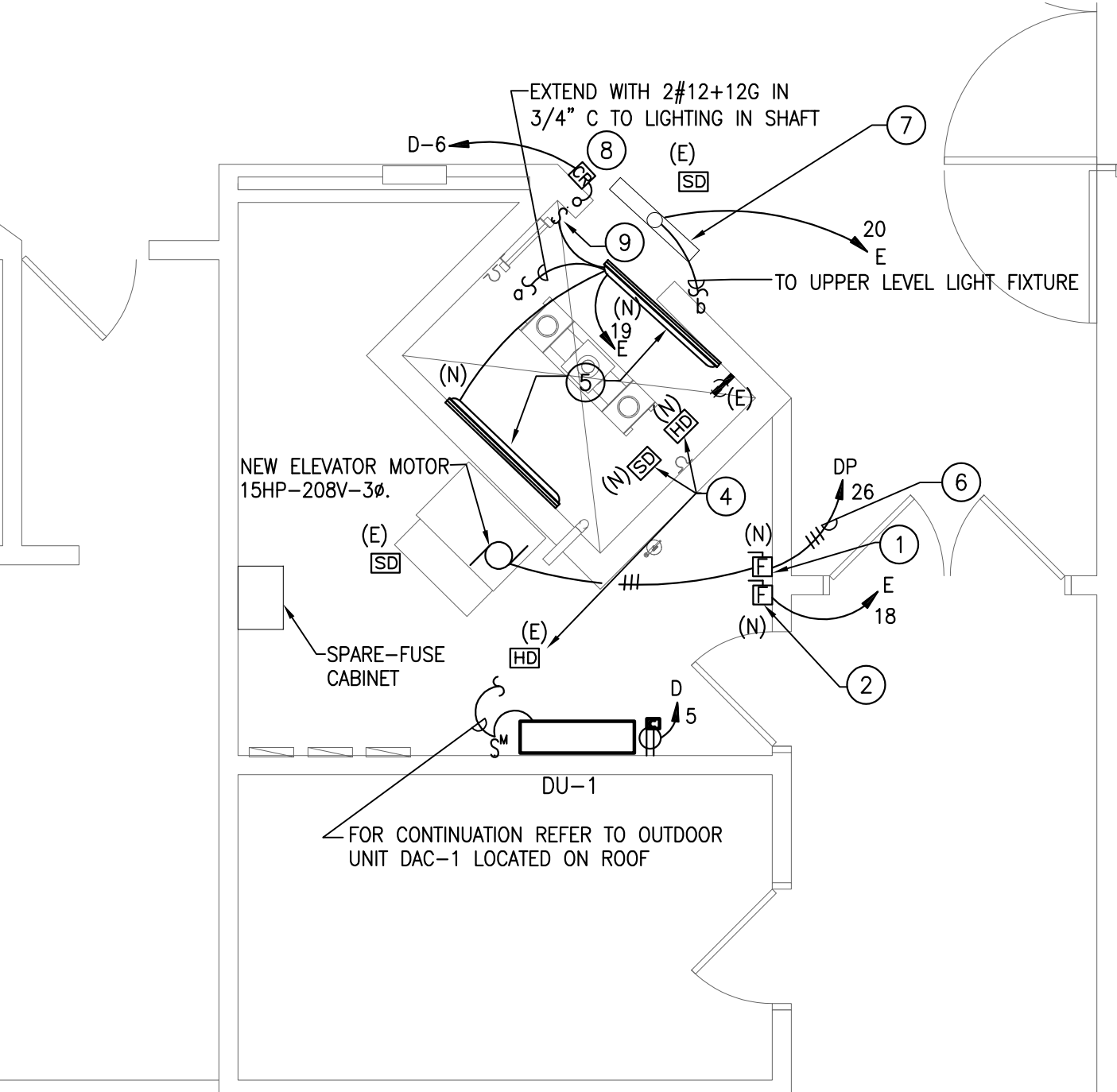
DEMO UPPER LEVEL FLOOR PLAN - ELEVATOR

SCALE: 1/4"=1'-0"



DEMO LOWER LEVEL FLOOR PLAN - ELEVATOR

SCALE: 1/4"=1'-0"



NEW WORK LOWER LEVEL FLOOR PLAN - ELEVATOR

SCALE: 1/4"=1'-0"

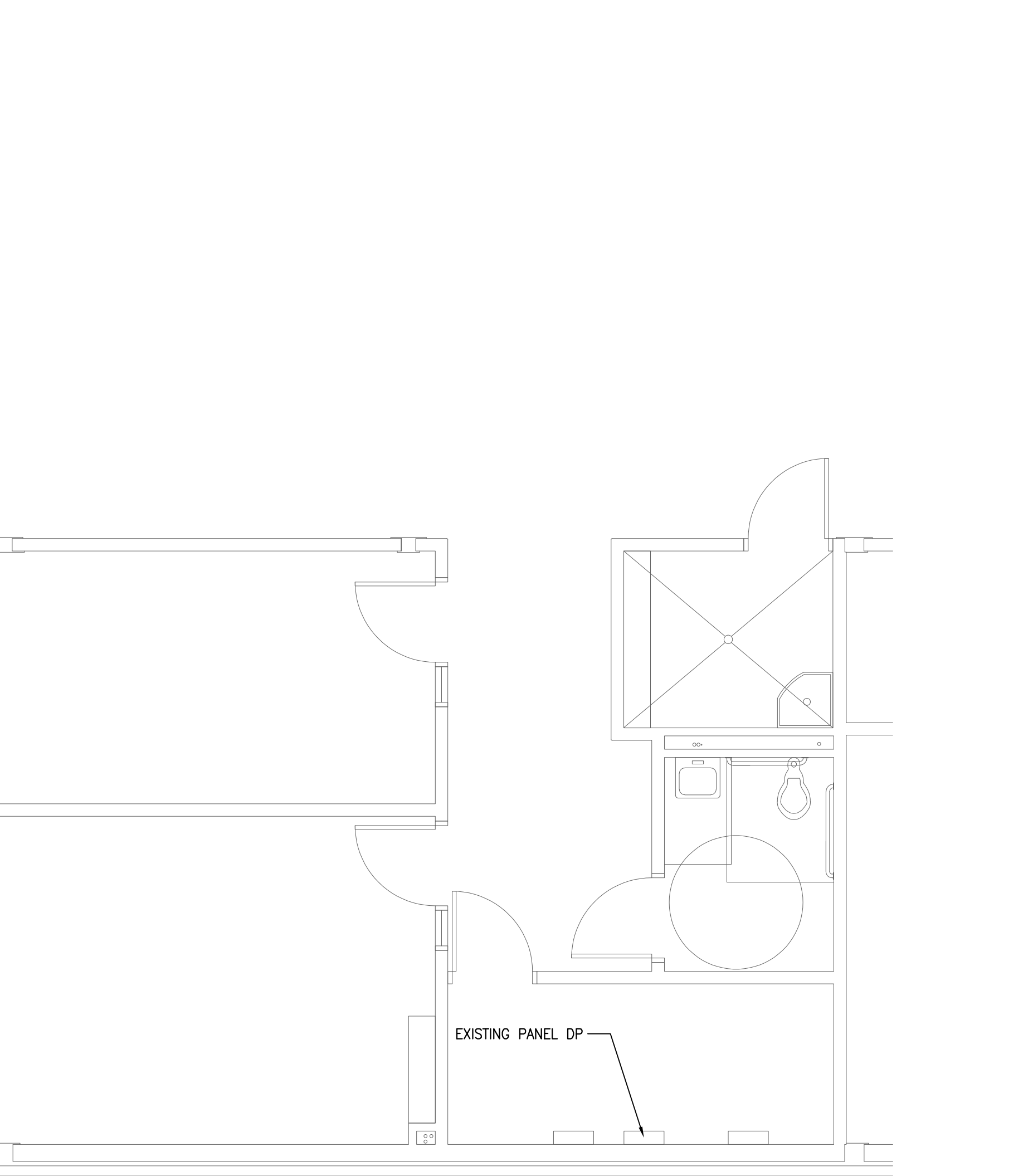


ELEVATOR NOTE:

MONTGOMERY COUNTY PUBLIC SCHOOLS, DOES NOT REQUIRE THE ELEVATORS TO BE CONNECTED TO THE GENERATOR EMERGENCY OR STANDBY CIRCUITS WHEN THE ELEVATOR UNIT IS EQUIPPED WITH BATTERY POWERING LOWERING DEVICES. THE EXISTING ELEVATOR AS WELL AS THE NEW ELEVATOR ARE EQUIPPED WITH BATTERY POWERING LOWERING DEVICES, THEREFORE IT DOES NOT REQUIRE TO BE CONNECTED TO THE GENERATOR.

NEW WORK UPPER LEVEL FLOOR PLAN - ELEVATOR

SCALE: 1/4"=1'-0"



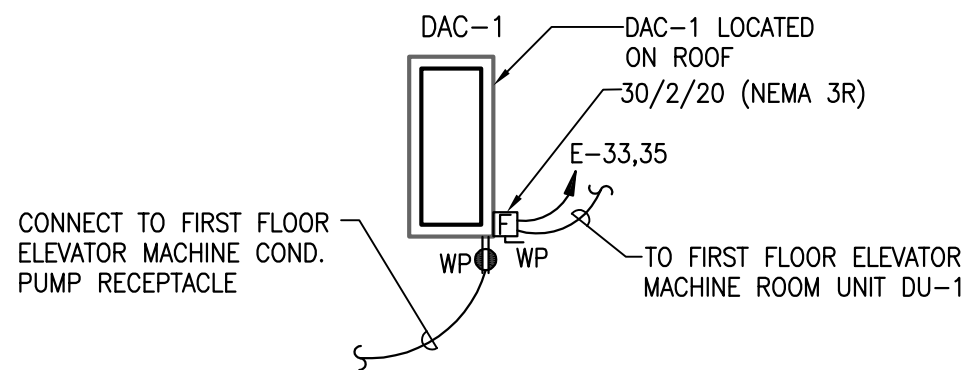
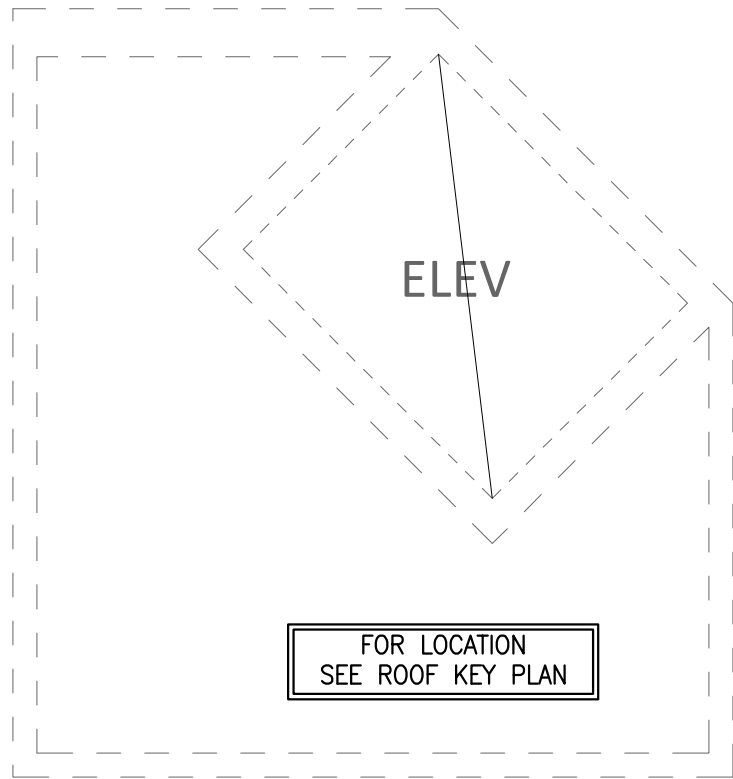
GENERAL NOTES: NEW WORK

A. ALL WORK ON THIS PLAN IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.

- ELEVATOR: EMERGENCY BATTERY OPERATION LOWERING, A MECHANICAL AUXILIARY CONTACT SHALL BE INSTALLED ON THE DISCONNECT SWITCH FOR ELEV. CAP. THE AUXILIARY SHALL BE CONFIGURED AS SPST AT 1AMP 115V (MIN). THE AUXILIARY CONTACT SHALL BE OPEN WHEN THE DISCONNECT SWITCH IS IN THE OPEN POSITION. OF A SHUNT TRIP CIRCUIT BREAKER IS PROVIDED AN AUXILIARY CONTACT SHALL BE INSTALLED ON THE CIRCUIT BREAKER.
- ELEVATOR REQUIREMENTS MAY VARY FROM ONE MANUFACTURER TO ANOTHER. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENT OF ELEVATOR TO BE INSTALLED PRIOR TO ROUGH-IN TO ENSURE PROPER OPERATION AND OVERCURRENT PROTECTION.
- PROVIDE NEW SHUNT-TRIP TYPE MAIN LINE DISCONNECT SWITCHES AND FUSES CAR LIGHTING DISCONNECT SWITCHES. PROVIDE REQUIRED GROUNDING CONDUCTOR IN EACH DISCONNECT SWITCH. PROVIDE POWER SUPPLY AND BRANCH CIRCUIT FOR MACHINE ROOM PUMPING UNIT OIL COOLER OR OIL HEATER.

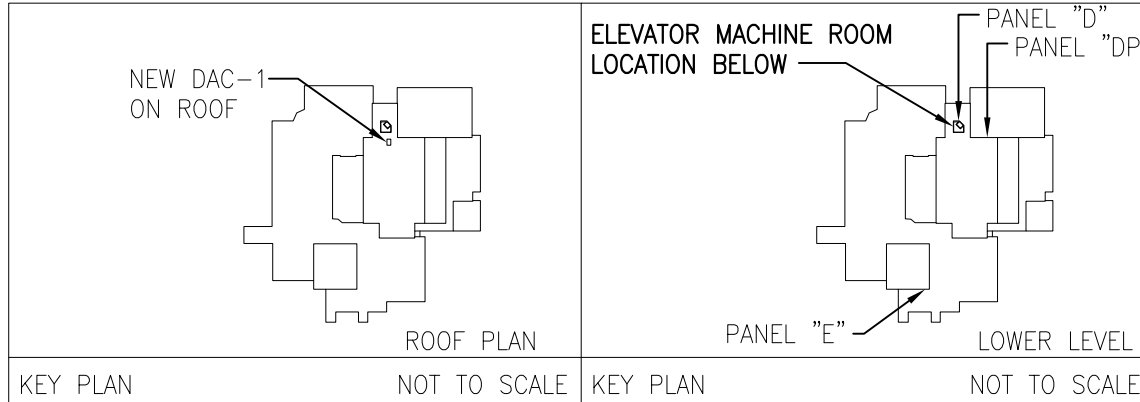
REFERENCE NOTES: NEW WORK #

- PROVIDE 3P-200 AMP FUSED DISCONNECT SWITCH WITH 90 AMP DUAL ELEMENT TIME DELAY. FUSES SWITCH SHALL BE PROVIDED WITH PROVISION TO SEAL IN THE "OFF" POSITION, PROVIDE AUX DRY CONTACT.
- PROVIDE 1P+S/N 30 AMP FUSED DISCONNECT SWITCH WITH 20 AMP FUSE FOR ELEVATOR CAR FAN & LIGHT.
- NOT USED.
- PROVIDE MODIFICATIONS AND PROGRAMING OF THE BUILDING FIRE ALARM AND SMOKE DETECTOR SYSTEM AND ASSOCIATED DEVICES FOR ELEVATOR RECALL AND SHUNT TRIP OPERATION. AT THE PRESENT ALL EXISTING ELEVATOR RECALL SYSTEM SMOKE, HEAT DETECTOR IN THE ELEVATOR MACHINE ROOM, ELEVATOR PIT/SHAFT AND LOBBY ARE EXISTING TO REMAIN UON. THIS CONTRACTOR SHALL MODIFY IF SO REQUIRED BY NEW ELEVATOR REQUIREMENTS.
- PROVIDE NEW LED LIGHT FIXTURE FULLY ENCLOSED & GASKETED AT ELEVATOR PIT LIGHT FIXTURE MANUFACTURER BY WILLIAMS CATALOG #96-4-L40-840-HIAFR-WET/1-UNIV FOR ELEVATOR PIT PROVIDE PART #WMB OR PROVIDE SIMILAR LIGHT FIXTURE.
- RECONNECT BACK TO EXISTING PANEL DP 1200 AMP 120/208V 3Ø 4W EXIST. POSITION #26 THIS CONTRACTOR SHALL REMOVE THE EXISTING 3P-70 AMP CIRCUIT BREAKER SERVING THE EXISTING ELEVATOR THAT WAS REMOVED, AND PROVIDE A NEW 3P-125 AMP CIRCUIT BREAKER W/BUILT-IN SHUNT-TRIP MECHANISM TO SERVE NEW ELEVATOR REFER TO PANEL SCHEDULE REFER TO ELEVATOR NOTE ON THIS SHEET.
- PROVIDE NEW RECESSED LED LIGHT FIXTURE MODEL MX4RG-2'00-L12-8-30-F-DRV-UNV MANUFACTURED BY WILLIAMS LIGHTING OR SIMILAR.
- CARD READER CONNECTION.
- RELOCATED SWITCH PROVIDE NEW AND RECONNECT BACK TO SOURCE.



NEW WORK - ROOF PLAN

SCALE: 1/4"=1'-0"



dtci
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COUNTY PUBLIC
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PLUMBING /
ELECTRICAL
ENGINEER

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CONSULTING
ENGINEERS

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Fax No.: 24081-10

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404

Expiration Date:
April 12, 2025

FAIRLAND ELEMENTARY SCHOOL
ELEVATOR MODERNIZATION

14315 FAIRDALE RD.
SILVER SPRING, MD 20905
ELEVATOR - DEMO AND
NEW WORK FLOOR PLANS

PROJECT NO. 24081.10

DRAWN BY E.J.C.

REVIEWED BY R.C.

PROJECT ISSUE DATE

PERMIT/BID SET 02.04.2025

REV. ISSUE: DATE

REV.	ISSUE:	DATE

DRAWING STAMP



SHEET NUMBER

E002

EXISTING PANELBOARD SCHEDULE														DP				
VOLTAGE		PHASE	WIRE	MCB (A)		MLO (A)		AIC		MOUNTING				LOCATION: S				
120/ 208		3	4			1200				SURFACED								
TYPE LEGEND														REMARKS				
L	LIGHTING			K	KITCHN EQPMNT			E	EXISTING			BOILER ROOM						
R	RECEPTACLES			Z	LARGEST MOTOR			-										
M	MECH EQUIP			O	OTHER			-										
CKT #	ITEM SERVED			TYPE	WIRE	COND.	CKT. BRK		LOAD (VA)	PHASE	LOAD (VA)	CKT. BRK		COND.	WIRE	TYPE	ITEM SERVED	CKT #
							TRIP	P				P	TRIP					
1	SPARE	SPACE					20	1	0	A	0	1	20				SPARE	2
3		SPARE					20	1	0	B	0	1	20				SPARE	4
5		SPARE					20	1	0	C	0	1	20				SPARE	6
7		SPARE					20	1	0	A	0	1	20				SPARE	8
9		SPARE					20	1	0	B	0	1	20				SPARE	10
11		SPARE					20	1	0	C	0	1	20				SPARE	12
15	EXISTING COOLING TOWER		M	E	E	60	3		3700	A	0	1	20				SPARE	14
								3700	B	0	1	20				SPARE	16	
									3700	C	0							
21	EXISTING PANEL C1			E	E	100	3			A	0	3	100				SPARE	20
										B	0							
										C	5760							
										A	5760	3	125	1-1/2"	3#1+6G	M		
25	SPARE			E	E	100	3			B	5760						ELEVATOR/SHUNT	26
										C								
31	EXISTING DOAU-1		M	E	E	350	3		11808	A							EXISTING PANEL BR	34
									11808	B		3	200	E	E			
									11808	C								
37	EXISTING PANEL P1			E	E	300	3			A							EXISTING PANEL M1	40
										B		3	300	E	E			
										C								

	A	B	C	TOTAL
CONNECTED LOAD (VA)	3700	3700	9400	16860

- NOTES:
1. ALL WIRING SHALL BE 2#12+12G UNO
2.

		SUB-LOADS				CONN	DEMAND			
TYPE	LOAD (VA)	PNL "C1"	PNL "P1"	PNL "M1"	PNL "BR"	LD (VA)	FACTOR	LOAD (VA)		
LIGHTING	0		16,500		1,500	-	18,000	125%		22,500
RECEPTACLES	0	18,500	42,250		540	-	61,290			35,645
MECH EQUIP	63,804			51,100	31,500	-	82,600	100%		82,600
KITCHN EQPMNT	0				0	-	0	100%		0
LARGEST MOTOR	0				0	-	0	125%		0
OTHER	0	2,500			2,500	-	5,000	100%		5,000
EXISTING	0				0	-	0	125%		0
						CONNECTED TOTAL (VA)		166,890		145,745
						CONNECTED AMPACITY (A)		463.24		404.55

(1ST 10KVA @ 100%, REMAINING @ 50%)
0 # OF KITCH EQUIPMENT

EXISTING PANELBOARD SCHEDULE															D						
VOLTAGE		PHASE	WIRE	MCB (A)		MLO (A)		AIC		MOUNTING				REMARKS							
120/ 208		3	4	100		10000		10000		RECESSED											
TYPE LEGEND															REMARKS FED FROM MDP						
L	LIGHTING			K	KITCHN EQPMNT.			E	EXISTING												
R	RECEPTACLES			Z	LARGEST MOTOR			-													
M	MECH EQUIP			O	OTHER			-													
CKT #	ITEM SERVED			TYPE	WIRE	COND.	CKT BRK		LOAD (VA)		PHASE	LOAD (VA)		CKT BRK		COND.	WIRE	TYPE	ITEM		CKT #
							TRIP	P				P	TRIP								
1	EXISTING LIGHTING 17			L	E	E	20	1	500	A	265	1	15	E	E	L			EXISTING LIGHTING ELEVATOR RM	2	
3	EXISTING BOYS BATH ROOM LIGHTING			L	E	E	15	1	500	B	1080	1	15	E	E	R			EXISTING RECEPTACLES ROOM 17	4	
5	NEW CONDENSATE PUMP			M		3/4"	20	1	50	C	25	1	20	E	E	O			NEW ELEVATOR CAR READER	6	
7	SPARE						20	1		A	1200	1	20	E	E	R			EXISTING RECEPTACLES	8	
9	EXISTING CORRIDOR RECEPTACLES			R	E	E	20	1	1080	B	900	1	20	E	E	L			EXISTING LIGHTING ROOM 14	10	
11	SPARE				E	E	20	1		C	900	1	20	E	E	R			EXISTING RECEPTACLES ROOM 14	12	
13	EXISTING LIGHTING WINE CLOSET			L	E	E	20	1	1080	A		1	20						SPARE	14	
15	SPARE						20	1		B		1	20						SPARE	16	
17	SPARE						20	1		C		1	20						SPARE	18	
19	SPARE						20	1		A	1080	1	20	E	E	R			EXISTING COMPUTER ROOM 14	20	
21	SPARE						20	1		B	1	20	E	E	E				SPARE	22	
23	EXISTING COMPUTER 17			R	E	E	20	1	180	C	880	1	20	E	E	R			EXISTING WATER COOLER	24	
25	SPARE						20	1		A	880	1	20	E	E	R			EXISTING WATER COOLER	26	
27	EXISTING U VENT ROOM 14			M	E	E	20	1	1080	B		1	20						SPARE	28	
29	SPARE						20	1		C		1	20						SPARE	30	
31	SPARE						20	1		A	1000	1	20	E	E	M			EXISTING CU HEAT	32	
33	SPARE						20	1		B	1	20							SPARE	34	
35	EXISTING PRU #1			M	E	E	15	3	1300	C									SPACE	36	
37	" "									1300	A								SPACE	38	
39	" "									1300	B								SPACE	40	
41	SPACE							1		C									SPACE	42	

	A	B	C	TOTAL
CONNECTED LOAD (VA)	7305	5940	3335	16580

TYPE	LOAD (VA)	SUBLOADS (VA)				CONN	DEMAND	DEMAND		
		PNL	PNL	PNL	LD (VA)	FACTOR	LOAD (VA)			
LIGHTING	3,245		-	-	3,245	125%	4,056			(1ST 10KVA @ 100%, REMAINING @ 50%)
RECEPTACLES	7,280		-	-	7,280	*	7,280			
MECH EQUIP	6,030		-	-	6,030	100%	6,030			
KITCHN EQPMNT	0		-	-	0	100%	0			0 # OF KITCH EQUIPMENT
LARGEST MOTOR	0		-	-	0	125%	0			
OTHER	25		-	-	25	100%	25			
EXISTING	0		-	-	0	125%	0			
						CONNECTED TOTAL (VA)		16,580		17,391
						CONNECTED AMPACITY (A)		46.02		48.27

- NOTES:
1. ALL WIRING SHALL BE 2#12+12G UNO

EXISTING PANELBOARD SCHEDULE

VOLTAGE		PHASE	WIRE	MCB (A)				MLO (A)		AIC	MOUNTING				REMARKS			
120/ 208		3	4					400		10000	SURFACE							
TYPE LEGEND																		
L	LIGHTING			K	KITCHN EQPMNT			E	EXISTING				LOCATION: GENERATOR ROOM					
R	RECEPTACLES			Z	LARGEST MOTOR			-										
M	MECH EQUIP			O	OTHER			-										
CKT #	ITEM SERVED			TYPE	WIRE	COND.	CKT BRK		LOAD (VA)	PHASE	LOAD (VA)	CKT BRK		COND.	WIRE	TYPE	ITEM	CKT #
							TRIP	P				P	TRIP					
1	EXISTING TELEPHONE			R	E	E	20	1	1080	A	1080	1	20	E	O		EXISTING PA STACK	2
3	EXISTING LIGHTING OFFICE			L	E	E	20	1	1080	B	1080	1	20	E	E	L	EXISTING LIGHTING ENTRY	4
5	EXISTING MAIN OFFICE TELEPHONE ROOM			L	E	E	20	1	1080	C	900	1	20	E	E	R	EXISTING MED OUTLET, CORRI-EMERG LIGHTS	6
7	EXISTING LIGHT REAR CORRIDOR			L	E	E	20	1	1080	A	900	1	20	E	E	L	EXISTING LIGHT REAR CORRIDOR	8
9	EXISTING FIRE ALARM			O	E	E	20	1	1080	B	1080	1	20	E	E	L	EXISTING LIGHT ENTRY	10
11	EXISTING LIGHT REAR CORRIDOR			L	E	E	20	1	900	C	1080	1	20	E	E	L	EXISTING LIGHT FRONT ENTRY	12
13	EXISTING LIGHT MULTI-PURPOSE ROOM			L	E	E	20	1	1080	A	1200	1	20	E	E	L	EXISTING LIGHT CORRIDOR 3	14
15	EXISTING LIGHT BOYS/GIRLS BATHROOM			L	E	E	20	1	1080	B	360	1	20	E	E	L	EXISTING LIGHT CORRIDOR 3	16
17	EXISTING LIGHT CORRIDOR 2			L	E	E	20	1	500	C	250	1	20	3/4"	L		ELEVATOR CAR LIGHT/FAN	18
19	ELEV PIT/SHAFT LIGHT			L	3/4"	E	20	1	120	A	250	1	20	3/4"	L		NEWELEV LOBBY LIGHT	20
21	EXISTING WALK UP FREEZER			K	E	E	20	2	1000	B		1	20				SPARE	22
23	SPARE						200	3		A	230	1	20	3/4"	L		EXISTING EMERGENCY LIGHTS GYM	24
25	"									B	1440	2	20	3/4"	L		EXISTING FIRE PANEL LIGHTS/GYMECH ROOM	26
27	"									B								28
29	"									C	1	20	E	E			EXISTING BATHROOM	30
31	"									A	1	20	E	E			EXISTING BATHROOM	32
33	NEW INDOOR/OUTDOOR DU-1-DAC-1			R		3/4"	20	2	1250	B	1	20	E	E			EXISTING BATHROOM	34
35	"								1250	C	1	20	E	E			EXISTING BATHROOM	36